



**Former Estate Offices and Stables,
Trevor Row, Trevor Road, Chirk,
Wrexham, LL14 5HE**

September 2023 V 1.0



Historic Building Record Level 2

Project Code: A0447.1

Report no. 0423

Event PRN: 213984



æon archaeology

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Aeon Archaeology

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Project Code: A0447.1

Date: 14/09/2023

Client: Andrew Design Service (ADS)

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Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE

September 2023 v1.0

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1.0 INTRODUCTION

Comisiynwyd Aeon Archaeology gan Andrew Design Service (ADS), 'y Cleient' o hyn ymlaen, i gynnal cofnod adeiladu hanesyddol lefel 2 o'r hen Swyddfeydd Ystadau a'r Stablau, Trevor Row, Trevor Road, Y Waun, Wrecsam, LL14 5HE (SJ 29233 37576) cyn ei drawsnewid yn un annedd.

Cyflwynwyd cais cynllunio (2023/0277) gan y Cleient i Gyngor Bwrdeistref Sirol Wrecsam, 'y Cyngor' o hyn ymlaen, ar 14 Ebrill 2023 ac mae'n aros am benderfyniad (ar 7 Medi 2023). Fodd bynnag, argymhellwyd yr amod canlynol yn ymwneud ag archeoleg gan yr Archeolegydd Rheoli Datblygu (DMA) yn Ymddiriedolaeth Archeolegol Clwyd Powys (CPAT) yn eu rôl fel cynghorwyr archeolegol i'r Cyngor:

Aeon Archaeology was commissioned by Andrew Design Service (ADS), hereafter 'the Client,' to carry out a level 2 historic building record of the former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) in advance of conversion into a single dwelling.

A planning application (2023/0277) was submitted by the Client to Wrexham Borough County Council, hereafter 'the Council', on the 14th April 2023 and is awaiting determination (as of 7th September 2023). The following condition concerning archaeology was however recommended by the Development Management Archaeologist (DMA) at the Clwyd Powys Archaeological Trust (CPAT) in their role as archaeological advisors to the Council:

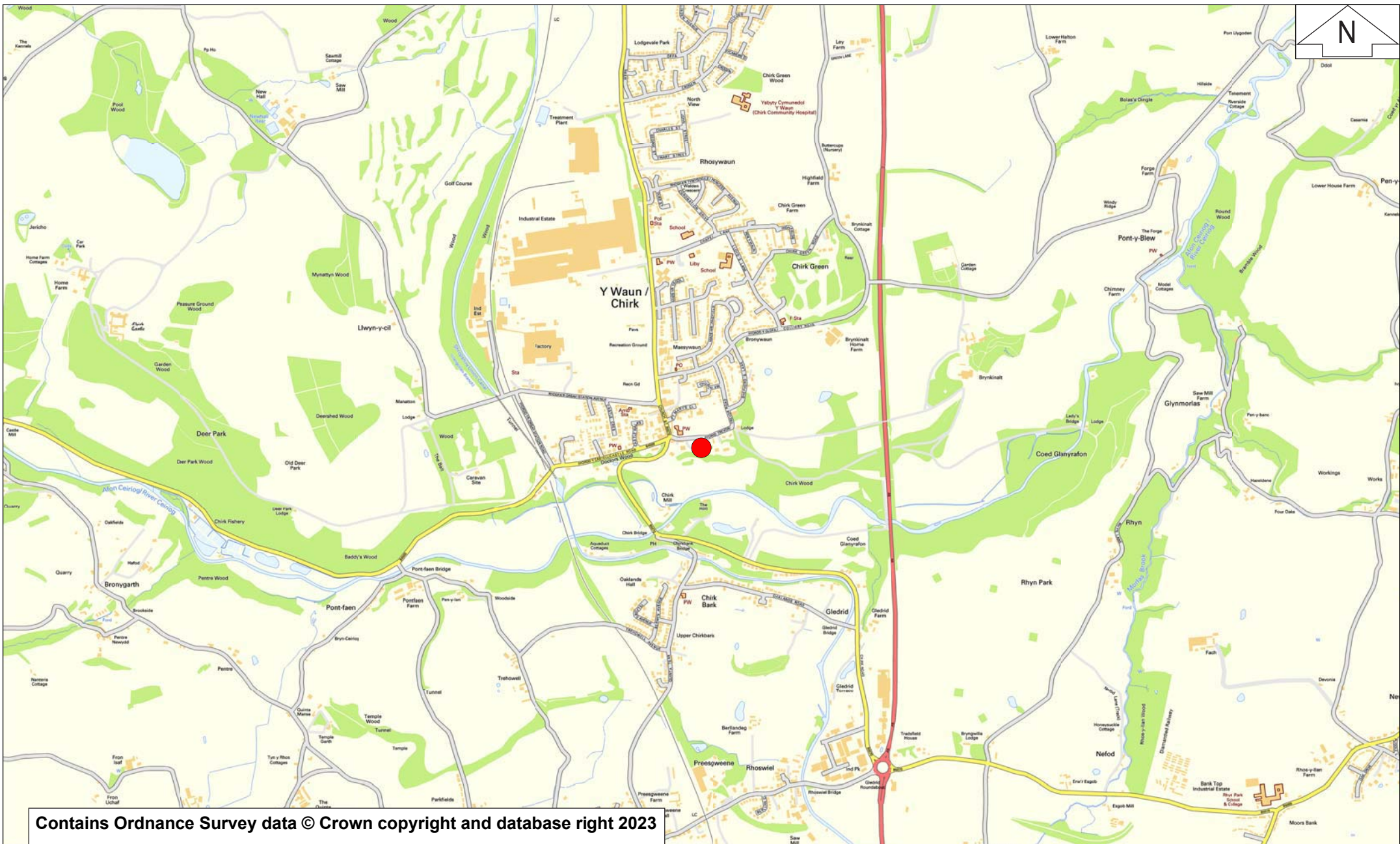
No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.

The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 8RP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670).

On approval by the Local Planning Authority, project data must be submitted and approved for inclusion in the Clwyd-Powys Archaeological Trust's Historic Environment Record [CPAT HER]. For any questions regarding this submission process, please contact the HER Team at her@cpat.org.uk. The full digital archive must also be submitted and approved for inclusion within the National Monuments Record, RCAHMW or the Archaeology Data Service, ADS.

Reason: To allow an adequate analytical record of the buildings to be made, before conversion, to ensure that the buildings origins, use, and development are understood and the key features, character and state of preservation are recorded.

This design and all subsequent mitigation will conform to the guidelines specified in Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) & '*Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures*' (Chartered Institute for Archaeologists, 2020).

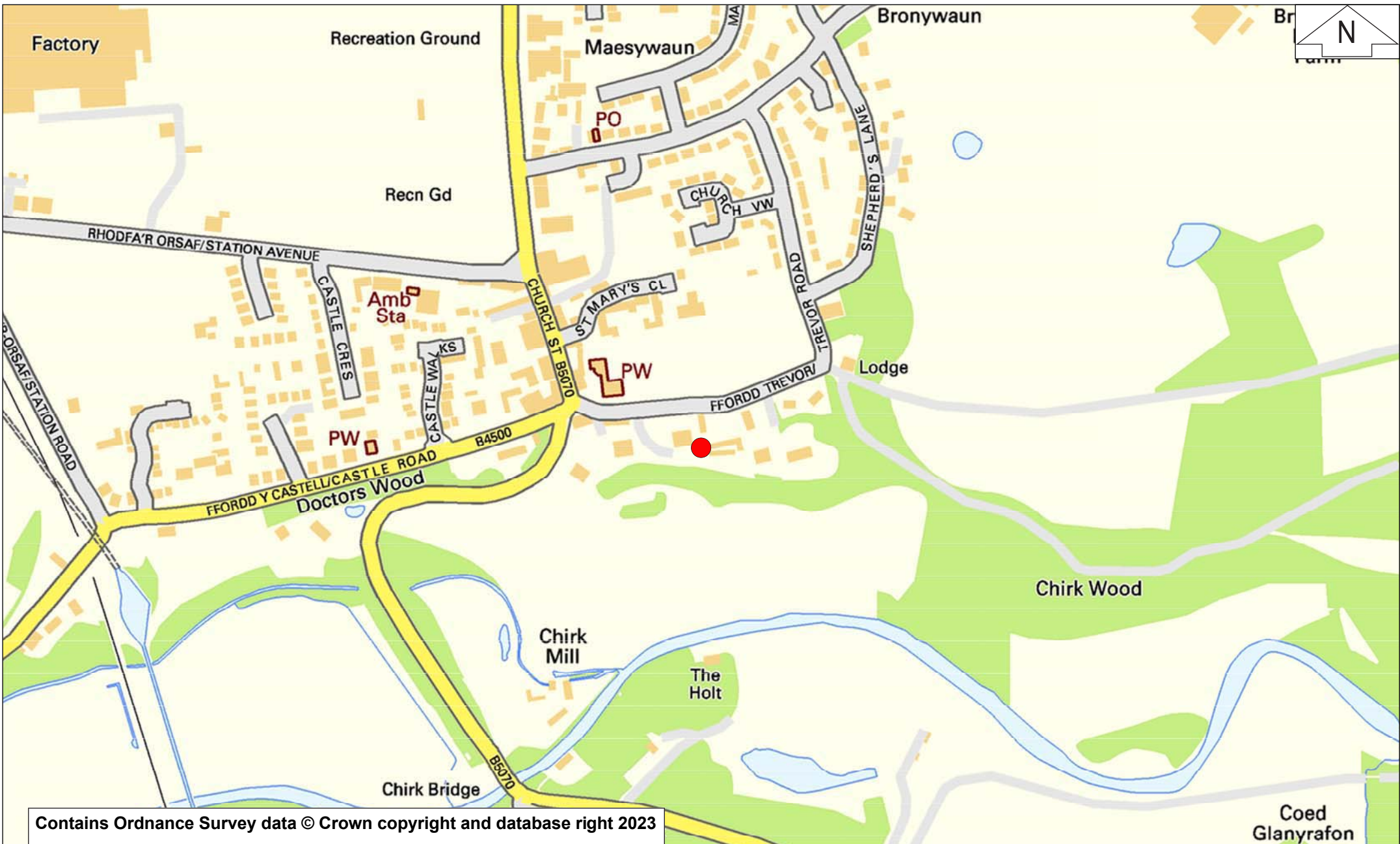


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Figure 01: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:20,000 at A4.

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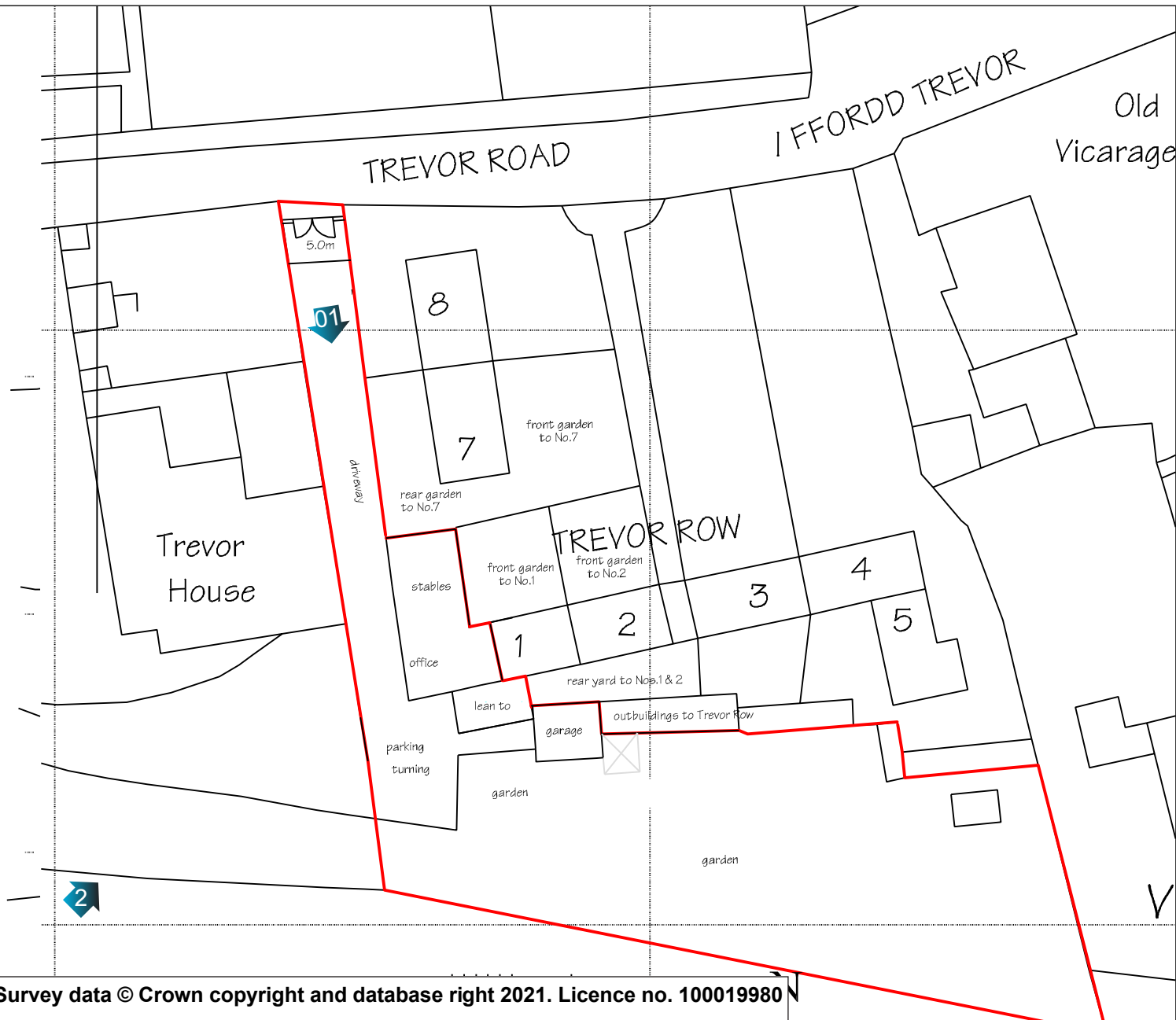


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Figure 02: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:5,000 at A4.

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Figure 03: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:500 at A4.



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2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that: -

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 HISTORIC BACKGROUND

3.1 Chirk Conservation Area

Chirk is situated on the border between Wales and England approximately 14.50km to the southwest of Wrexham town centre and 8.00km to the north of Oswestry. The village sits within a shallow valley situated between the historic estates of Chirk Castle, which overlooks the village to the west, and Brynkinallt hidden to the east by a sloping ridge and dissected from the village by the modern A483 bypass.

The *Chirk Conservation Area* centres on the village's historic core, which is set on an outcrop overlooking the Ceiriog Valley. It includes the medieval settlement around the Church of St. Mary and Church Street, as well as Station Avenue, Castle Road, and the Chirk Aqueduct and Viaduct, which are now part of the Pontcysyllte Aqueduct and Canal World Heritage Site.

The Chirk Conservation Area Character Assessment & Management Plan says the following with regards to area of Trevor Road:

“Trevor Road is predominantly residential in its use and as a result typically has a more quiet and peaceful sense of place than elsewhere in the village. Trevor Road has a more generally organic settlement pattern when compared to the rest of Chirk, and this is complimented by the openness of the Churchyard and cemetery opposite. Stone walling running parallel to Trevor Road demarcates the grounds of Trevor House, the rear elevation of which can be glimpsed above the high boundary wall. This elevation reveals timber framing and suggests the origins of the building are likely 17th century. The main frontage of the grade II listed property is orientated southwards to overlook the Ceiriog Valley, designed as part of alterations and enlargements undertaken in 1840 by Richard Jebb, agent to the Brynkinallt Estate. The extensive grounds surrounding the building reinforce the historical high status and contribute to the open character of the area.

Adjacent is Trevor Row, a group of stone cottages built for workers on the Brynkinallt estate by Richard Jebb, and originally known as Jebb's row. The buildings are of a modest scale with uncoursed sandstone block walls under slate roofs, with the end wings projecting northwards and southwards under hip slate roofs. The cottages have an intimate character; set well back from Trevor Road enclosed behind a sandstone wall with 'cock and hen' copings and central, communal pedestrian access. The juxtaposition between the cottages and the open space in front of them is very important to their character and contributes to the openness of the street.”

3.2 Historical Background

Chirk's origins are believed to date back to the 12th century, as evidenced by the remains of the earthwork castle *Castell y Waun motte (PRN 101109)* located in the garden of Mount House and the identification of a blocked, round-headed window on the south wall of St. Mary's Church (*PRN 101108*) also suggesting a 12th century construction date (Clwyd Powys Archaeological Trust, 2012; Hubbard, 1986). It has been suggested that Chirk may have been an English planned settlement due to the presence of the earthwork castle, the church, and the

possibly designed town layout (Hurdsman, 1996). Alternatively, Chirk may have been a nucleated '*maerdref*,' run by a bailiff for the local Welsh lord (Rusu, 2011). Given Chirk's position on the Welsh-English border, either theory could be possible.

A *maerdref* was a type of medieval Welsh settlement that was centred around the residence of a *maer* or a lord. It was a form of political organization that emerged during the medieval period in Wales and was primarily used to administer the territories of individual lords. The *maerdref* was responsible for a range of functions, including the collection of taxes, the enforcement of law and order, and the provision of military support.

During the 13th century, Chirk became a part of the English Marcher lordships, leading to more established growth. Chirk was granted borough status in 1324, and by 1391, it had 32 burgage plots along the main street, with a weekly market, hall, court room, and chapel (Clwyd Powys Archaeological Trust, 2012, Wrexham County Borough Council, 2014). The Glyndwr rebellion in the early 15th century is believed to have caused significant damage to the village and its buildings, although Chirk Castle continued to be occupied (Hurdsman, 1996).

Vernacular structures in Chirk date back to the 17th century and are scattered along Trevor Road and the row of cottages facing the church along Church Street (Wrexham County Borough Council, 2014). Most of the buildings in the town date from the 18th century onwards, with buildings along Church Street reflecting earlier plot positions and highlighting the historic pattern of settlement in the town centre (Wrexham County Borough Council, 2014).

In the 19th century, a Victorian code of moral and social responsibility was introduced to the town, resulting in the construction of purpose-built buildings such as *Hand Terrace* on Holyhead Road and *Jebbs Row* on Trevor Road (Wrexham County Borough Council, 2014) built by Richard Jebb an agent of the *Brynkinallt Estate*. *Charlotte Myddleton-Biddulph* of *Chirk Castle* commissioned the construction of the former National Girls School in 1843, designed by Augustus Pugin, who was overseeing alterations to Chirk Castle at the same time (Wrexham County Borough Council, 2014).

4.0 METHOD STATEMENT

4.1 Level 2 Building Record

The requirements are for an *level 2 historic building record* of the former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) in advance of *conversion into a single dwelling*. However should observations or desk-based research suggest the potential for significant features to be encountered during the demolition works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The CPAT Development Control Archaeologist has requested that the building record be roughly commensurate with the English Heritage '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

4.1.1 Written Account

The written account will include:

- The building's precise location as a National Grid Reference and address form;
- A note of any statutory designation and non-statutory designation;
- The date of the record, name(s) of the recorder(s) and archive location;
- A summary of the building's form, function, date, and sequence of development.
- An introduction, setting out the circumstances in which the record was made, its objectives, methods, scope and limitations, and any constraints which limited the achievement of objectives.
- Acknowledgements to all those who made significant contributions.
- A discussion of published sources relating to the building and its setting, an account of its history as given in published sources, an analysis of historic map evidence and a critical evaluation of previous records of the building, where they exist.
- An account of the building's overall form and its successive phases of development, together with the evidence supporting this analysis.
- An account of the past and present uses of the building and its parts, with the evidence for these interpretations.
- Any evidence for the former existence of demolished structures or removed plant associated with the building.
- Full bibliographic and other references.

4.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the rooms to be altered.
- Any internal or external detail.

- Any machinery or other plant, or evidence for its former existence.
- Any dates or other inscriptions.
- Any building contents or ephemera which have a significant bearing on the building's history.
- Copies of maps, drawings, views and photographs present in the building and illustrating its development or that of its site.

A Digital SLR (Canon 600D) set to maximum resolution will be used throughout.

4.1.3 Drawings

The drawn record will include:

- A measured site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.
- Measured elevation drawings of all external elevations.

4.2 Processing data, illustration, report and archiving

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

Upon completion of the project copies of the report will be sent to the Client, regional HER via the HEDDOS portal, and the DMA at CPAT.

The project report and archive will adhere to the Welsh Trusts' and Cadw's Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs) (2018 updated 2022) including the translation of a non-technical summary into the medium of Welsh.

5.0 DIGITAL DATA MANAGEMENT PLAN

5.1 Type of study

Level 2 historic building record of the former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) in advance of *conversion into a single dwelling*.

5.2 Types of data

File name	File Contents	Linked File(s)
A0447.1 Former Estate Office and Stables, Chirk HBR 2 1.0.PDF	PDF report	
A0447_1_001 - A0447_1_093.JPG	JPEG site images	A0447.1_Metadata
A0447_1_001 - A0447_1_093.TIF	TIF site images	A0447.1_Metadata
A0447.1_Metadata.XLSX	Excel file of photographic metadata	A0447_1_001 - A0447_1_093
Digital Proformae (Descriptions, .TXT)	2 x text documents	

All data generated during this project has been selected for archive.

5.3 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (.*xlsx*) or Access (.*accdb*).

All written registers, pro-formas, and scaled drawings scanned as *.PDF* files.

5.4 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.

3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance, in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

5.5 Data quality and standards

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

5.6 Managing, storing and curating data.

All digital data will be organised into Aeon Archaeology proforma project file systems and backed up to the cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

6.7 Metadata standards and data documentation

Digital metadata created using Microsoft Excel (.xlsx) or Access (.accdb) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

5.8 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of digital (.PDF) reports and the original and digital scanned archive to the RCAHMW; and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to The Cloud.

5.9 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

5.10 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

5.11 Governance of access

The decision to supply research data to potential new users will be via the associated website request (RCAHMW, HER) or via the Senior Archaeologist when made directly to Aeon Archaeology.

5.12 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the

project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

5.13 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

5.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

5.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCifA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

5.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

6.0 LEVEL 2 HISTORIC BUILDING SURVEY

Former Estate Office and Stables, Trevor Road, Chirk

(See plates 1-25; figures 04-06)

6.1 General Description

This *Level 2 Historic Building Survey* is focussed on the building known as the *former Estate Office* for the *Brynkinallt Estate*. This building is formed from four distinct rooms or areas; the Office, the Stable and the Workshop, as well as an area of ground to the south and west of the building proper. To the west of the buildings is Trevor House, the main frontage of this grade II listed property is orientated southwards to overlook the Ceiriog Valley, with extensive grounds surrounding the building reinforcing a historical high status and contributing to the open character of the area.

The stables, offices and workshop themselves all form part of the western end of Trevor Row. These are a group of stone cottages built for the historic workers on the Brynkinallt Estate, by Richard Jebb (agent to the Estate), in the early part of the 19th century, and they were originally known as Jebb's row. The row is located to the east of the buildings which form the subject of this survey. It has been noted by the *Chirk Conservation Area Character Assessment & Management Plan* (2014), that the juxtaposition between these cottages and the open space (gardens) in front of them is considered to be very important to their setting and character, and contributes to the openness of the street. Given the historic association between the former Estate Office buildings and Trevor Row, it is somewhat relevant to consider them as part of this wider context even though the terrace is still in the possession of the Brynkinallt Estate and the Office buildings are now privately owned.

The complex of buildings may be approached from Trevor Road via a twin gate, which provides access to a wide driveway entrance to the former stables and offices, this is referred to in this report as the northern drive. Given the very prominent, north-south aligned, lime mortared, stone rubble wall (with cock and hen coping), to the east of the drive, which is reminiscent in character to the wall which aligns the southern side of Trevor Road, it is suspected that this was designed by the estate (likely by Jebb) to be the original access to the buildings from Trevor Road.

However, today it is also possible to achieve access from the west, directly from the drive of Trevor House. It is unknown whether this was historically a route of access, as historic mapping indicates that the buildings appear to be separated by a hard boundary. However, contemporary access to Trevor House's eastern garden is achieved from this direction.

When the Office buildings are viewed from the south, it is evident that the type of masonry present on both the row and on the Office buildings are contemporary with one another. These are roughly coursed, sandstone rubble walls bonded by lime mortar, and there are no construction seams or abutments which are visible in the stonework. The historic line of the row ends at its western most extent in a gable elevation which projects onto the southernmost extremity of the northern drive, with the stable block extending to the north from the northern elevation of the office building.

6.2 Estate Offices

This is an L-shaped configuration of buildings, which is generally orientated north-northwest to south-southeast (north to south in this report). It is suspected that the offices predate the construction of the stables, although this must remain conjecture as no direct evidence for this was found. However, it is theorised that as the gable end of the office building projects to the west, that this was the terminus for the construction of Trevor Row, the terraced houses to the east. Furthermore, upon inspection of the northern wall, which separates the stables and the office, it appears that this is much wider in terms of thickness when compared to other internal dividing walls within the building. This also suggests that this wall was an original standing wall, which was subsequently breached, in order to achieve access to the stables beyond, once they were constructed.

6.2.1 The southern elevation

This elevation presents onto views of the lower Ceiriog Valley, and to the southwest, views of the Chirk Aqueduct. Furthermore, directly in front of this building to the south is an open area of hardstanding, which blends into grass cover leading to the eastern lawn of Trevor House. The building is of two stories and is aligned north to south, and measures 13.80m in length by 7.95m in width. It has a double pitched roof with a black PVC gutter at eaves height. The construction material of the building is not immediately obvious; the elevation of the workshop, to the right-hand side, nearest Trevor Row has been constructed from roughly coursed, sandstone rubble walls bonded by lime mortar. However, the offices on the left-hand side are largely rendered and painted white and subsequently finished with a lined detail which imitates ashlar masonry.

The confusion arises when specific attention is given to where the render has fallen away, the door way of the workshop appears to be a later insert, evidenced by red-brick and Portland cement elements, and this also appears internally near the window sill, indicating that the entire lower half of the elevation may well have been rebuilt in this location. In addition, where patches of the render on the office building to the right has fallen away, it appears to have been constructed from red brick. These observations then present two possible scenarios; the building underwent a degree of rebuilding/ remodelling at the time the workshop door and window was inserted, or the office was always constructed from red brick in order to differentiate it from the row, and the later rebuild on the workshop door was conducted at a time where specific design considerations were not regarded with such importance, perhaps by a worker who was instructed to undertake the work with little direction from the estate.

For clarity at the right-hand end of the elevation, the offices give way to the southern facing elevation of the workshop, which itself is largely obscured by a dilapidated wooden lean-to structure. To the left of this, there is a large sash window at ground floor level, which has 12 glass panes set in white painted frames, and with a sloping red terracotta tile sill. Above this at first floor level, there is a fixed window with two glass panes in white painted frames.

6.2.2 The western elevation

This forms the gable elevation for the building and the double-pitch of the roof is visible here. Where the roof meets the eaves, it has been finished with a green painted, wooden fascia board. The elevation has been rendered and painted white and has an incised line design, which is intended to imitate ashlar masonry.

Centralised within the elevation at ground floor level. There is a 12-glass pane, sash window in white painted, wooden frames with a red terracotta sill. Above this at first floor level there is an identical window, with 12-glass panes in a sash window arrangement. However, this has modesty glass instead of clear glass and there is a concrete windowsill form beneath.

To the left of the ground floor window there is a doorway entrance, which permits access to the stairwell, enquiries office, and downstairs toilet. This doorway has a green painted wooden frame with a two pane, transom window light above, but now with door missing. However, the door stands just inside the building and is of vertical wooden boards and has also been painted green with brass letterbox. Immediately to the left of this is the stable extension. Running north to south and located immediately to the west of the building, is the driveway, which is accessed from the north and is bounded by a large estate wall (with cock and hen coping) to the east and the eastern elevations of Trevor House to the west.

6.3 The Stables

6.3.1 The western elevation

As mentioned in the previous section, to the left of the office's western elevation, is the west facing elevation of the stable building. This has a hipped roof configuration which has been roofed with blue slate and has cement ridge tiles. The elevation has been constructed from partially dressed stone, bonded by lime mortar and is roughly coursed. This elevation has also been rendered, and has the same incised line decoration, reflecting ashlar masonry, but this render has not been painted and remains grey.

Centralised within the elevation at ground floor level, there is a wide, double height, stable door, which appears to have been inserted and/or widened within the elevation, as evidenced by the supporting segmented arch above. This arch is of red bricks placed on end, and has not been implemented properly; although it meets the elevation on the right-hand side, it fails to do so on the left hand, meaning the elevation above has dropped, allowing the elevation to subside at first floor level above the doorway. The door has green painted wooden frames, but is now boarded up with chipboard and batons. To the right of the doorway is a three-pane fixed window in metal frames with modesty glass. To the left of the doorway, there is a small cast iron ring which has been fixed to the wall, presumably once for hitching a horse.

Above the door, at first floor level and constructed into the eaves, is a hayloft window opening aperture, this does not have any supporting timber framework and the roof above has fallen into this opening partially.

6.3.2 The northern elevation

This elevation is largely obscured by the rear garden of no 7. Trevor Row and the large north to south aligned, masonry wall, which bounds the northern approach to the estate offices and stables. The hipped roof construction is visible showing that the ridges have concrete tiles. Although the roof is in a poor state of repair with holes in the slate, showing the roof construction bare to the elements beneath.

Below the roof of the wall proper is of partially dressed, stone rubble construction and centralised at eaves height, is a wooden slatted window. However, due to the limited view sheds on this elevation, it is largely obscured from view.

6.3.3 The eastern elevation

The eastern elevation was visible, only via a community access path from Trevor Road leading to Trevor Row. This was viewed from across the front gardens of numbers, 1, 2 and 7 of Trevor Row. The hipped roof construction of the building was visible, showing the blue slate roof with the concrete ridge tiles. The elevation was of partially dressed, stone rubble, and roughly coursed, bonded by lime mortar.

At eaves height, there was a single window opening, offset to the left of centre. And this appeared to comprise of a wooden slatted hatch with a six-pane fixed window beneath in unpainted wooden frames.

6.4 The Workshop

6.4.1 South facing elevation

This building is technically the continuation of the south facing elevation of office building, to the left of the workshop (to the west), however, for the sake of this report, it has been placed in a different section. Therefore, the left of the elevation represents the south facing elevation of the offices (see above section). The southern elevation of the workshop is largely obscured by a green painted wooden lean-to Construction.

This lean-to has a mono pitched roof, now without any roofing material and with only the exposed rafters and batons visible. The southern elevation is tilting with subsidence and is comprised of a wooden post and upright wooden boards with a single fixed window with modesty glass. The western elevation of the lean-to is open all the way across its length at ground floor level and has been covered over above with vertical wooden boards which were once painted green.

The elevation proper of the workshop is of a combination of partially dressed, stone rubble, which is roughly coursed and has been bonded with lime mortar. However, there are elements of red brick visible, but this detail is largely obscured by the render which covers over it and which has been painted white.

At ground floor level and centralised within the elevation, there is a single doorway opening permitting access to the workshop which has been integrated a wooden framed window; this comprises of two opening window lights, is of 12 glass panes, and forms a set of twin opening

window lights set within green painted wooden frames. To the right of this, is an incorporated door frame which is also painted green and which has a green painted wooden board door which has been ledged.

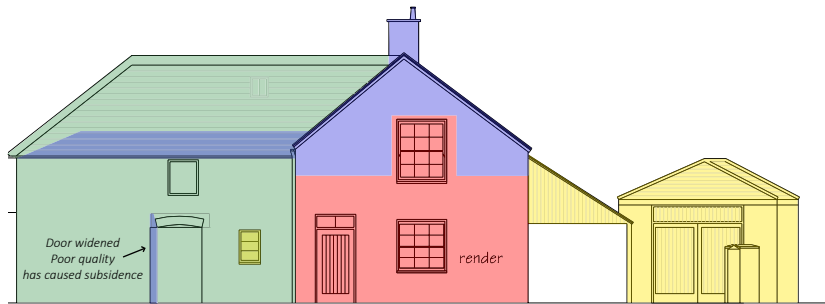
This doorway is almost certainly an insertion within the original stone wall elevation, as evidenced in where the render has come away above the door. A red brick lintel and segmented arch are visible, and below this a substantial timber lintel has also been fitted above the door, likely in order to support the weight of the wall above when the door was inserted and subsequently widened.

To the right of this, a wall meets the southern elevation at a right angle, and judging by the appearance of the masonry seam, it abuts with the original wall of the workshop, and therefore postdates that elevation. To the south of this is the red brick construction of the garage. This wall is also visible from the east from the rear of Trevor Row, however, there is not much to be gleaned from this angle.

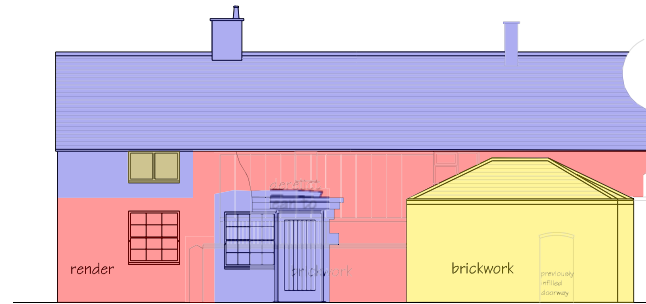
6.5 Garage

The building has a hipped roof with blue slate and lead edging. The building has been constructed from red brick bonded by Portland cement and projecting to the west from the western elevation is a garden wall, also of red brick bonded by Portland cement. Furthermore, there is another, higher, red brick wall, which projects to the east, and forms the rear to the yards of Trevor Row.

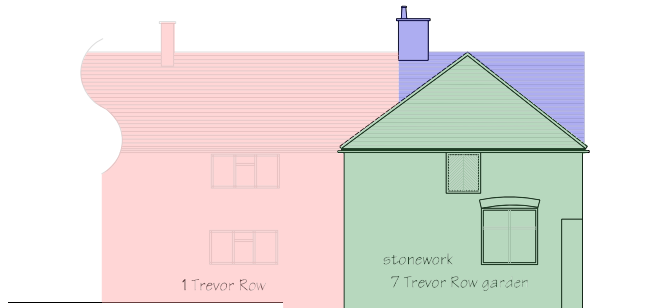
The western elevation has a large double garage door entrance constructed from timber and which has been painted green. The southern elevation is largely featureless, although there is an area of the wall which appears to have once been painted white, and to the right of this there is a blocked-up doorway, which is now evidenced by a segmented Arch. The eastern elevation is featureless.



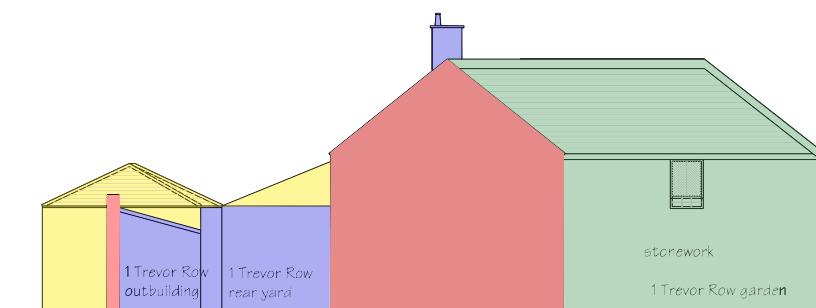
Western Elevation



Southern Elevation



Northern Elevation



Eastern Elevation

- Primary Phase Construction**
Initial Trevor Row "Jebbs Row" - Pre 1839
visible on tithe map
Likely 18th century rebuilt early 19th
- Secondary Phase Construction**
Stables - also pre 1839
appears to abut with office building
- Tertiary Phase Construction**
Remodelling in Red Brick - late 19th
partial rebuild of upper floor of Offices
new roof, roof height extension in stable, new chimney
addition of door & window to workshop
- 20th century Additions**
Lean-to, windows, garage

Plans used with kind permission of Andrew Design Service



Figure 04: Elevation plans of former Estate Offices and Stables, showing suggested phasing, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576)
Scale 1:150 at A4.

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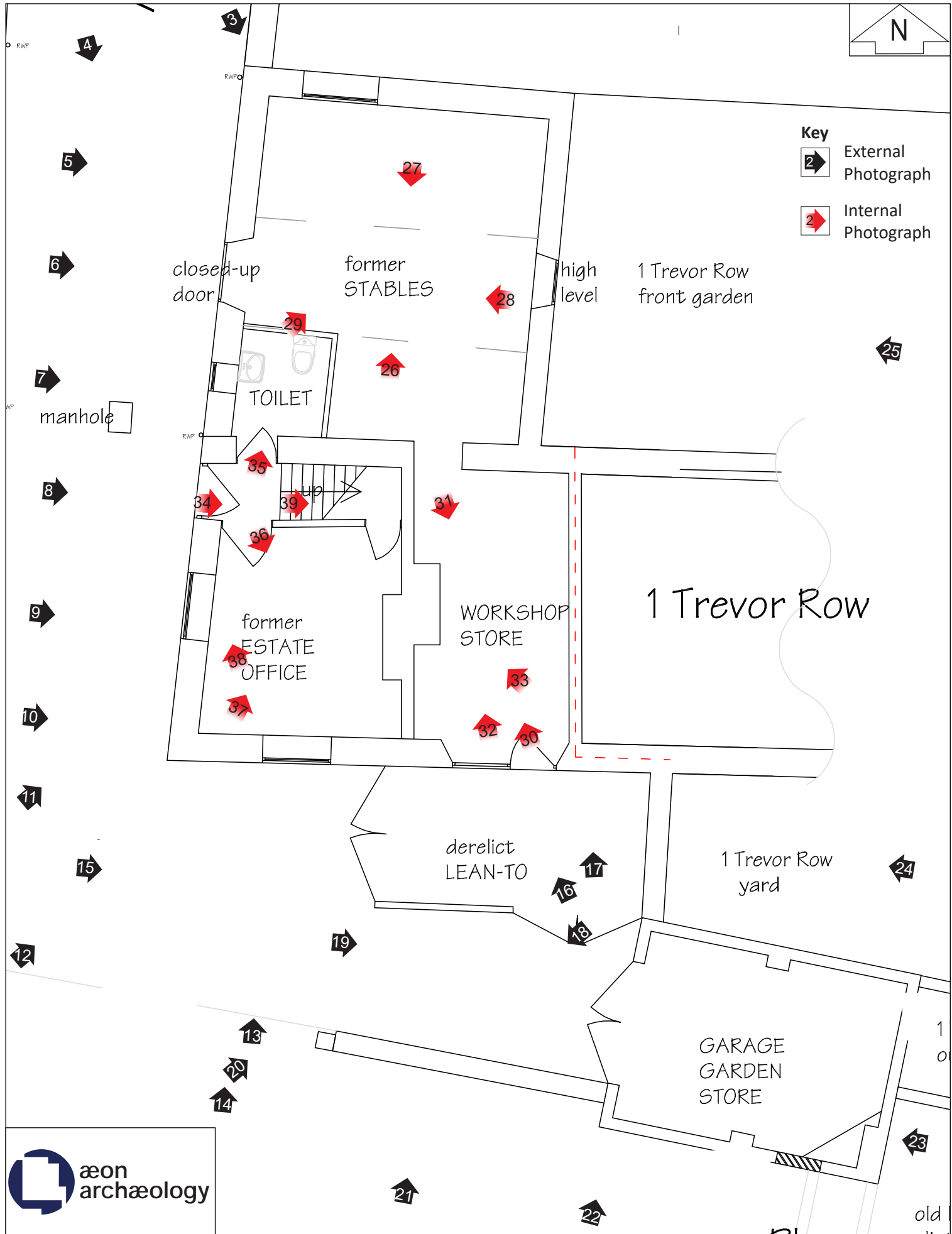


Figure 05: Ground floor plans, showing location of photographic placettes, former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) . Scale 1:200 at A4.

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Plate 01: Northern driveway, context shot, former Estate Offices & Stables, Trevor Road, Chirk - from the north - no scale



Plate 02: From Trevor House, context shot, former Estate Offices & Stables, Trevor Road, Chirk - from the west/southwest - no scale



Plate 03: Northern elevation, stables, former Estate Offices & Stables, Trevor Road, Chirk - from the north - no scale



Plate 04: Western elevation, oblique shot, former Estate Offices & Stables, Trevor Road, Chirk - from the northwest - 2.00m scale



Plate 05: Western elevation (left), stables, former Estate Offices & Stables,
Trevor Road, Chirk - from the west - 2.00m scale



Plate 06: Western elevation (centre), stables, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 07: Western elevation (right), stables, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 08: Western elevation (left), Office Entrance, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 09: Western elevation (centre), Office Windows, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 10: Western elevation (right), Estate Office, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 11: Western elevation, First Floor , former Estate Offices & Stables, Trevor Road, Chirk - from the west - no scale



Plate 12: Western/southern elevations, oblique shot, former Estate Offices & Stables, Trevor Road, Chirk - from the southwest - 2.00m scale



Plate 13: Southern elevation (left), Estate Office, former Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 14: Southern elevation (wide), former Estate Offices & Workshop, Trevor Road, Chirk - from the south - 2.00m scale



Plate 15: Wooden lean-to & garage, at former Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 16: Workshop elevation (left), former Estate Offices & Stables, Trevor Road, Chirk - from the southeast - 2.00m scale



Plate 17: Workshop elevation (right), former Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 18: Garden Wall, former Estate Offices & Stables, Trevor Road, Chirk - from the northeast - 2.00m scale



Plate 19: Garage, former Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 20: Garden Wall & Garage, former Estate Offices & Stables, Trevor Road, Chirk - from the northeast - 2.00m scale



Plate 21: Southern elevation garden wall, Estate Office & workshop in background, former Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 22: Southern elevation Garage, former Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 23: Eastern elevation Garage, former Estate Offices & Stables,
Trevor Road, Chirk - from the east - 2.00m scale



Plate 24: Garage & Wall, from rear of Trevor Row, Estate Offices & Stables, Trevor Road, Chirk - from the east - no scale



Plate 25: Stables, from Trevor Row, Estate Offices & Stables, Trevor Road, Chirk - from the east - no scale

6.6 Internal descriptions - Ground Floor

(See plates 26-46)

6.6.1 The Stables

This is a rectangular room, which is orientated north/northeast to south/southwest, and which measures 6.45m in length by 5.54m in width. The ceiling is formed from two large, sawn and chamfered floor beams, which support 12 (remaining) sawn timber joists. The ceiling has suffered from an abundance of water ingress and is entirely unsafe to walk on (this was confirmed by the client).

The northern elevation appears to have been constructed from stone rubble bonded by lime mortar, but which has been rendered and plastered white. At the left-hand side of the elevation, there is a large window opening comprising of a 20-pane fixed window in an unpainted wooden frame. And fixed to the front of this, are a set of vertical cast iron bars. The eastern elevation has been plastered and painted white and is featureless aside from the lower extent of a single window opening, with slanted cheeks and sill which have been formed from render, but this has now been boarded up.

The southern elevation has been rendered and painted yellow and its upper half and likely green in its lower half. At the left-hand side, there is a single doorway opening (now without door) with an unpainted timber frame, and this permits access to the workshop. The right-hand side of the elevation represents a modern construction within the stable space and is a modern red brick wall which forms the northern elevation of the toilet inserted by the estate likely in the 1960s. The western elevation has a large single doorway opening in the centre which permits access to the northern driveway and was likely once where horses were lead in to the stable from the northern drive. This has an unpainted wooden frame. To the left of this is the red brick construction forming the eastern wall of the toilet block constructed within the stable.

The floor is of compacted earth, and there are two concrete and cast-iron drain gullies in the northern half, which may indicate where the horse stalls once stood. In addition, there are other concrete pads around the southern half of the room which may once have supported upright posts.

6.6.3 The Workshop

This is a rectangular room, which is orientated north to south, and which measures 5.34m in length by 3.05m in width. The ceiling has been boarded in with wooden boards which have been painted white.

The northern elevation is constructed from stone rubble bonded by lime mortar. To the left, this has been painted white, where as to the right it remains unpainted. The elevation is dominated by a sliding door aperture, which appears to have been inserted within the elevation as evidenced by a red brick and sawn timber lintel, which supports the wall above the door opening. In addition, to the right of the timber lintel, there is another horizontal

timber, which is partially obscured by the eastern elevation, suggesting that the eastern elevation, in fact abuts the northern wall.

The eastern elevation is constructed from stone rubble bonded by lime mortar, which has been painted white, but which is featureless, aside from a series of small holes within the masonry running the length of the room horizontally. These may once of supported some shelving or a tool rack perhaps. In addition, the elevation is largely obscured by items which have been stored.

The southern elevation has been constructed from a combination of red brick (in its lower portion), and stone rubble (in its upper portion). The elevation is dominated by a combination door and window insertion, which is evidenced by the large sawn timber lintel which sits above this configuration. The door is of wooden planks and has been ledged, and the window is an eight-pane casement window, with opening light, set within green painted wooden frames. In front of this there is a red brick window sill construction, with a green painted wooden sill.

The western elevation has been constructed from stone rubble bonded by lime mortar and which has been painted white. However, within the centre of the elevation and dominating it is a red brick chimney construction which has been painted white, this is formed from a red brick hearth and forms a small inglenook. Above this, and mounted on the brickwork is a single gas fired light fitting with a metal feed which traces along the elevation to the north. Gas fired lighting appears as early as the 1820's and was considered popular by the 1850/60s before being replaced with electricity in the early 19th century (Nead 2000).

Furthermore, there is a green painted wooden mantle and surround which finish the fireplace. Inscribed into the left-hand side of the fireplace are various initials "A.D.," "P. S." and "F.S." The floor of the room is of red and black quarry tiles. As alluded to in the previous section, the room above the workshop is inaccessible, this is due to the only access being across the first floor in the stable, and this is unsafe for transit due to water ingress and a severe deterioration in the timbers which support the floor.

6.6.4 The Office Staircase

Accessed via the doorway in the west facing elevation is a small entrance corridor, which provides access to the *Enquiries Office* via a wooden panel door on the right, and to the toilet in a room on the left now without door.

Furthermore, directly ahead, and to the east is the ascending staircase which leads to the room above the "*Enquiries Office*." As with the stable, a large hole in the roof has made access to the first floor, very difficult due to water ingress and the severe deterioration of the staircase itself.

The ceiling of this area has been boarded out with timber, but where the roof is falling away, it has exposed a wooden board floor and joist construction for the floor above, in sawn timber. As mentioned, the northern elevation has a doorway at the left-hand side, permitting access to the toilet, and the wall itself has been plastered and wallpapered with green paper. In addition, an angled banister has been fitted to the wall, providing handrail support for

ascending the staircase. The eastern elevation at the top of the staircase has also been plastered and painted green and there is an unpainted wooden skirting board detail visible along the stairs. The staircase is of exposed wooden treads, which may ones have been carpeted along the centre.

The southern elevation has been rendered and wallpapered green, and has a single doorway opening at first floor level, permitting access to the room above the office. And at ground floor level, on the right-hand side, there is a single doorway opening with a painted wooden panelled door set within unpainted, moulded, wooden frame, permitting access to the *Enquiries Office*. The western elevation is entirely made up of the doorway opening, which permits access to the northern drive, and which now has no door. But it does have a green painted wooden frame with an incorporated twin-pane transom window above. The floor is of red and black chequered quarry tiles.

6.6.5 The Toilet

This is a roughly square room with walls, which have been rendered and wallpapered green. The ceiling is now missing, revealing the sawn timber joists which once supported it, demonstrating that it has been constructed within the stable. The northern elevation has a centralised ceramic toilet with suspended cistern above, whereas the eastern elevation is featureless.

The southern elevation has a single doorway opening on the right-hand side, permitting access to the entrance corridor. And the western elevation has a single fixed window in metal frames with a ceramic handbasin below, which is supported by cast iron uprights. The floor is entirely obscured by the collapsed ceiling.

6.6.7 The Enquiries Office

This is a rectangular room orientated north/northeast to south/southwest, and which measures 4.22m in length by 4.00m in width. The ceiling has been boarded and wallpapered white. This obscures the floor joists of the room above, but these are supported by the two large, sawn wooden beams with stop chamfers, and which are aligned east to west.

The northern elevation has been plastered and wallpapered green. There is a doorway on the left-hand side (door as described) which permits access to the entrance corridor. To the right of this there is another doorway opening which permits access to a cupboard beneath the stairs and this has an unpainted, wooden panel door, set within unpainted, wooden moulded frame. The eastern elevation has been plastered and wallpapered green. A projecting chimney breast is visible in the centre of the elevation and this has a modern red brick fireplace and hearth with metal grate. To the right of this and now filling the alcove created by the chimney breast, is a built-in wooden cupboard with wooden panel doors and shelves within.

The southern elevation is dominated by a large window opening which houses a 12-pane sash window in white painted wooden frames. In addition, the surround for the window has been inbuilt in order to house, the mechanism for the sash window, and there are hinged folding shutters, which may be drawn across the window, and which fold back into chamfered recesses to the left and right at the window frame. This window is also in possession of an

unpainted wooden sill. To the right of this and infilling the corner of the western and southern elevation are a series of shelves which are mounted upon vertical wooden rails and supported by decorative metal strap supports.

The western elevation is also dominated by a large window opening, and sports an identical window to the one which is seen on the sudden elevation; this is a 12 pane sash window in white painted wooden frames. In addition, the surround for the window has been inbuilt in order to house the mechanism for the sash window, and there are hinged folding shutters, which may be drawn across the window, and which fold back into chamfered recesses to the left and right at the window frame. This window is also in possession of an unpainted wooden sill. To the left of this is the continuation of the shelving previously mentioned.

The floor is of laid wooden hardboard, which is in a poor state of preservation. Presumably from dry rot and in places this has fallen away, revealing that this is a floating floor above a beaten earth surface beneath.

6.7 Internal descriptions - First Floor

6.7.1 Hayloft

The first floor, hayloft above the stables could only be accessed via a set of ladders in the north eastern corner of the room below. The room is open to the roof pitch, demonstrating the hipped roof construction where purlins form onto two ridge beams, which are in turn supported with a sawn timber, Kings post, "A-frame Truss." However, the roof is in a poor state of repair and water ingress has severely damaged the floor of this room.

The northern elevation is rendered and unpainted, and has a single window opening with unpainted wooden frame and slatted timber cover. The elevation is unrendered, revealing the stone rubble construction bonded by lime mortar. There is a large window opening within the centre, which curiously has a lintel/sill of timber along its centre, placed horizontally. This separates the window into two distinct levels and may indicate the window was extended lower to let more light into the ground floor stable.

The southern elevation is constructed from stone rubble bonded by lime mortar in its lower half; however, the upper part of the elevation appears to have been raised in redbrick and two doorways have been inserted. The doorway on the left leads into an inaccessible room which sits above the workshop. The doorway to the right has been blocked up and is no longer accessible. The western elevation has a single window opening without window or frame and is severely damaged by water ingress, with loose masonry. As alluded to the wooden board floor is in a very poor state and is entirely unsafe for transit.

6.7.2 First floor, room above office

This is a rectangular room, which is orientated north/northeast to south/southwest, and which measures 4.22m in length by 4.00m in width. The ceiling has been boarded and painted white. The walls have all been plastered and painted dark green and have white painted skirting boards. The northern elevation is recessed at the left-hand end and projects over the entrance hall below. To the right of this, there is a single doorway opening permitting access to the

descending a staircase and the ground floor. The eastern elevation is dominated by a projecting chimney breast, which is finished by a decorative slate mantle and which is surrounded with a cast iron guard fireplace. The southern elevation has a single fixed window with two glass panes set within white painted wooden frame. The western elevation is dominated by a 12-glass pane sash window in white painted wooden frame with modesty glass. The floor has been carpeted with green carpet.

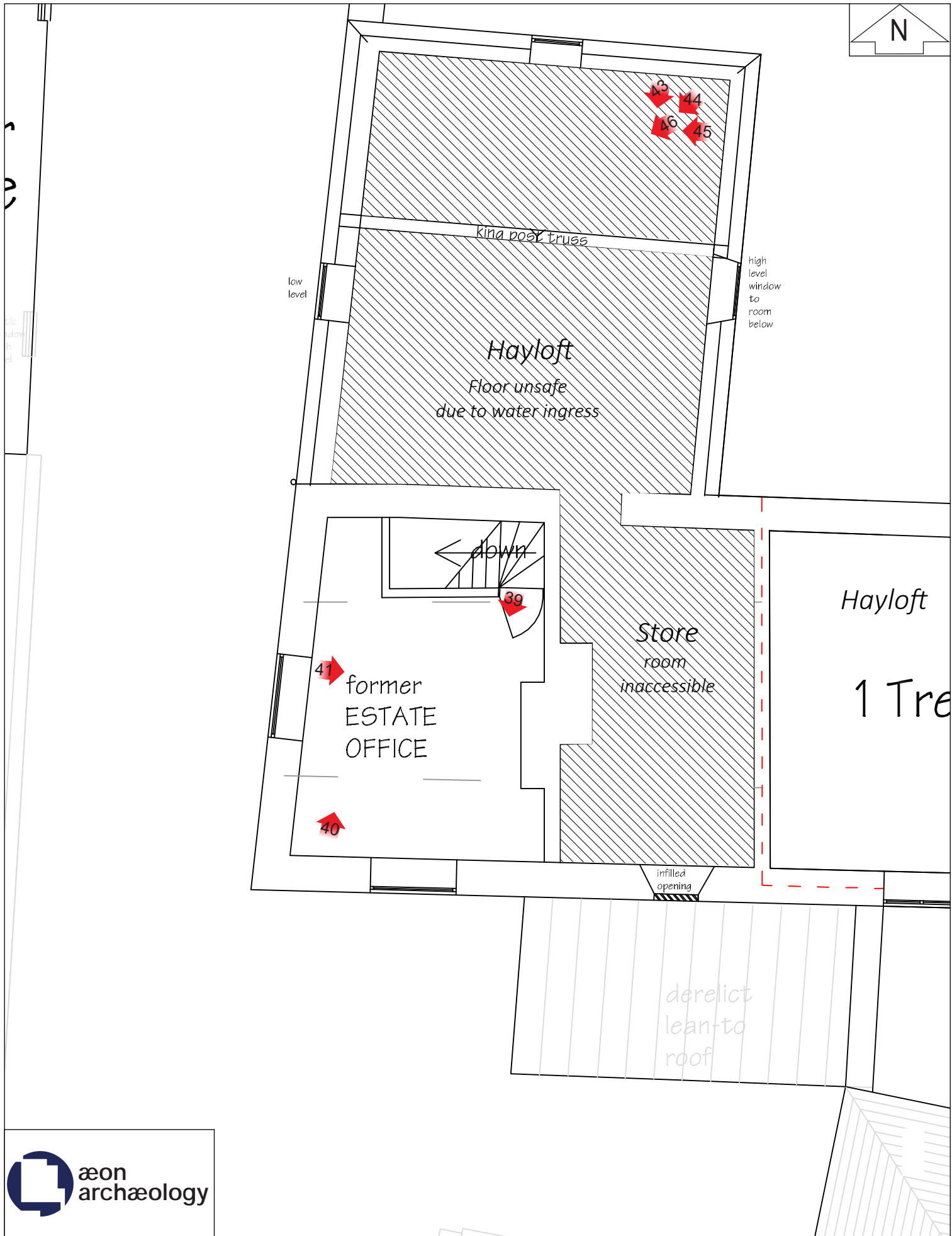


Figure 06: First floor plans, showing location of photographic places, former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) . Scale 1:200 at A4.



Plate 26: Internal shot of stables, Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 27: Internal shot of stables, Estate Offices & Stables, Trevor Road, Chirk - from the north - 2.00m scale



Plate 28: Internal shot of stables, Estate Offices & Stables, Trevor Road, Chirk - from the east - 2.00m scale



Plate 29: Internal shot of stables ceiling, Estate Offices & Stables, Trevor Road, Chirk - from the southwest - 2.00m scale



Plate 30: Internal shot of workshop, Estate Offices & Stables, Trevor Road, Chirk - from the south - 2.00m scale



Plate 31: Internal shot of workshop, Estate Offices & Stables, Trevor Road, Chirk - from the north - 2.00m scale



Plate 32: Internal shot of workshop floor, Estate Offices & Stables, Trevor Road, Chirk - from the north - 2.00m scale



Plate 33: Internal shot of workshop fireplace, Estate Offices & Stables, Trevor Road, Chirk - from the southeast - 2.00m scale



Plate 34: Entrance to Offices , Estate Offices & Stables, Trevor Road, Chirk - from the west - 2.00m scale



Plate 35: Office Toilet , Estate Offices & Stables, Trevor Road, Chirk -
from the south - 2.00m scale



Plate 36: Internal shot of Enquiries Office, Estate Offices & Stables, Trevor Road, Chirk - from the northwest - no scale



Plate 37: Internal shot of Enquiries Office, Estate Offices & Stables, Trevor Road, Chirk - from the southwest - no scale



Plate 38: Internal shot of Enquiries Office - sash window, Estate Offices & Stables, Trevor Road, Chirk - from the southeast - no scale



Plate 39: Internal shot of First Floor Office, Estate Offices & Stables, Trevor Road, Chirk - from the northeast - no scale



Plate 40: Internal shot of First Floor Office, Estate Offices & Stables, Trevor Road, Chirk - from the southwest - no scale



Plate 41: Internal shot of First Floor Office - Fireplace, Estate Offices & Stables, Trevor Road, Chirk - from the west - no scale



Plate 42: Staircase to First Floor Office - Fireplace, Estate Offices & Stables,
Trevor Road, Chirk - from the west - no scale



Plate 43: Internal shot of Hayloft, Estate Offices & Stables, Trevor Road, Chirk - from the northeast - no scale



Plate 44: Internal shot of Hayloft, Estate Offices & Stables, Trevor Road, Chirk - from the northeast - no scale



Plate 45: Internal shot of Hayloft, Estate Offices & Stables, Trevor Road, Chirk - from the east - no scale



Plate 46: Internal shot of Hayloft, King's Post Truss, Estate Offices & Stables, Trevor Road, Chirk - from the northeast - no scale

7.0 SOURCES

Maps.

Ordnance Survey Open Data maps SJ NW23, NE23, SE23 and SW23.

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æon archaeology

**Former Estate Offices and Stables,
Trevor Row, Trevor Road, Chirk,
Wrexham, LL14 5HE
(2023/0277)**

**Written Scheme of Investigation (WSI)
for Level 2 Historic Building Record**

September 2023 v1.0



Project Code: A0447.1
Planning Ref. 2023/0277
Event PRN: Tbc



Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (2023/0277)

September 2023 v1.0

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Project Code: A0447.1

Date: 07/09/2023

Client: ADS

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1.0 PROJECT BACKGROUND

Aeon Archaeology has been commissioned by Andrew Design Service (ADS), hereafter ‘the Client’, to produce a Written Scheme of Investigation (WSI) for carrying out a level 2 historic building record of the former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576) in advance of *conversion into a single dwelling*.

A planning application (2023/0277) was submitted by the Client to Wrexham Borough County Council, hereafter ‘the Council’, on the 14th April 2023 and is awaiting determination (as of 7th September 2023). The following condition concerning archaeology was however recommended by the Development Management Archaeologist (DMA) at the Clwyd Powys Archaeological Trust (CPAT) in their role as archaeological advisors to the Council:

No development shall take place until a programme of building recording and analysis, equivalent to an Historic England Level 2 building survey, has been secured and implemented, in accordance with a brief issued by the local planning authority and a written scheme of investigation which has been submitted and approved in writing by the local planning authority. The survey will be completed by a professional archaeological contractor.

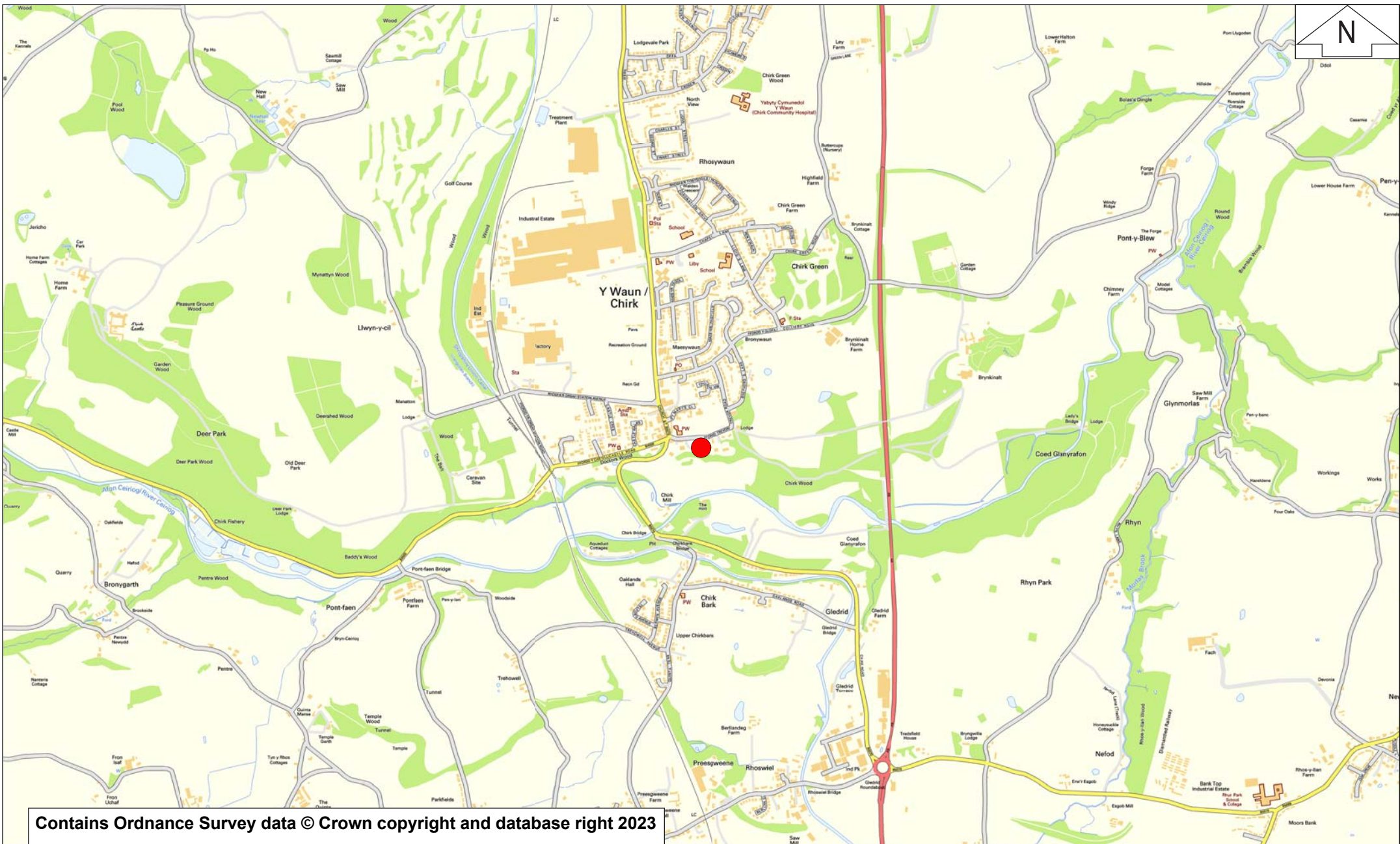
The programme of building analysis and recording must meet the standards laid down by the Chartered Institute for Archaeologists in their Standard and Guidance for the archaeological investigation and recording of standing buildings or structures. A copy of the resulting report should be submitted to the Local Planning Authority and the Development Control Archaeologist, Clwyd-Powys Archaeological Trust (The Offices, Coed y Dinas, Welshpool, Powys, SY21 8RP Email: neil.bayliss@cpat.org.uk Tel: 01938 553670).

On approval by the Local Planning Authority, project data must be submitted and approved for inclusion in the Clwyd-Powys Archaeological Trust's Historic Environment Record [CPAT HER]. For any questions regarding this submission process, please contact the HER Team at her@cpat.org.uk. The full digital archive must also be submitted and approved for inclusion within the National Monuments Record, RCAHMW or the Archaeology Data Service, ADS.

Reason: To allow an adequate analytical record of the buildings to be made, before conversion, to ensure that the buildings origins, use, and development are understood and the key features, character and state of preservation are recorded.

This design and all subsequent mitigation will conform to the guidelines specified in Historic England’s ‘*Understanding Historic Buildings: a guide to good recording practice*’ (2016) & *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Chartered Institute for Archaeologists, 2020).

It is a requirement that this WSI is submitted to and approved in writing by the Planning Officer and the DMA at CPAT prior to the works being undertaken.



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Figure 01: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:20,000 at A4.

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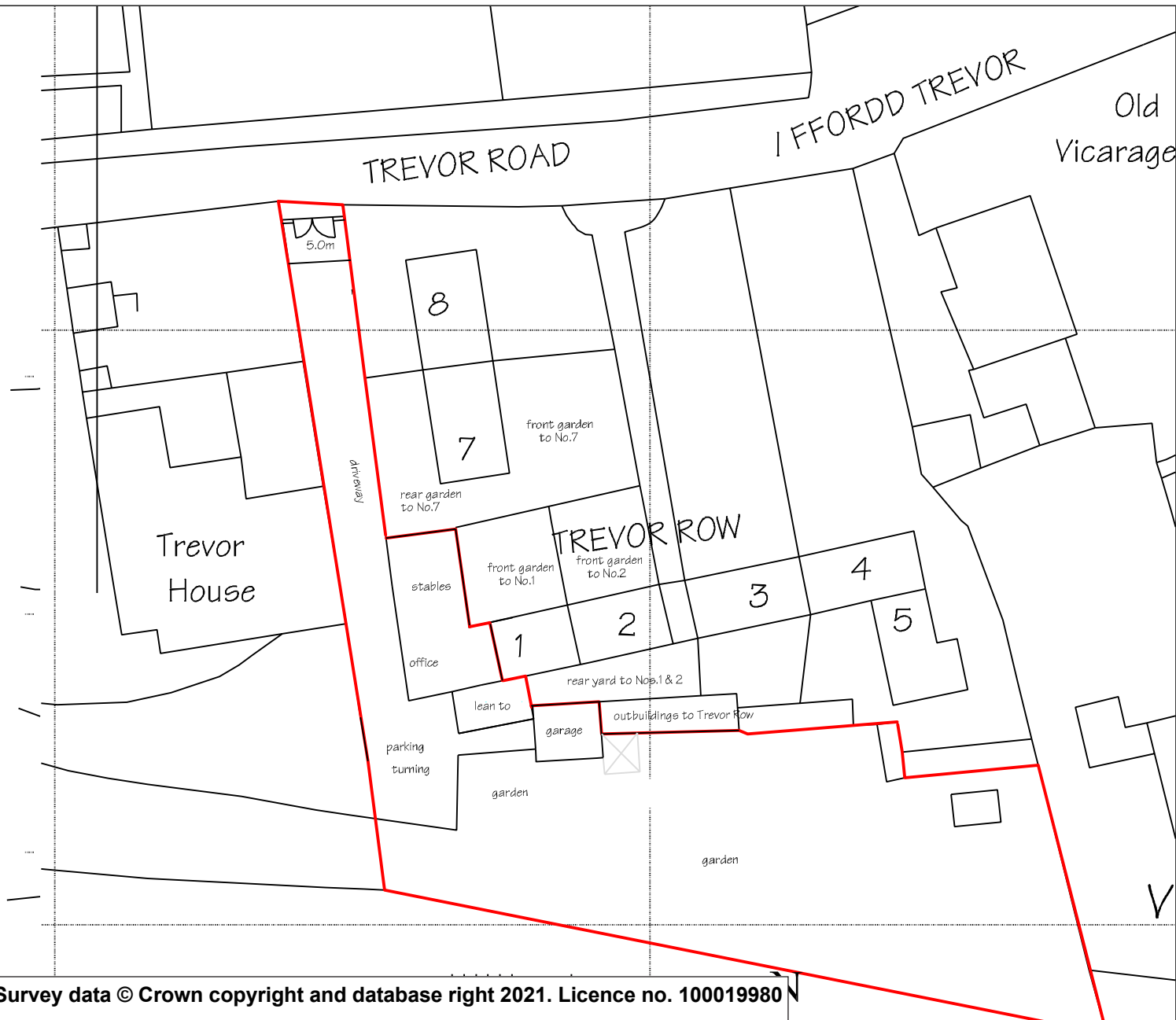


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Figure 02: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:5,000 at A4.

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Figure 03: Location of Former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576). Scale 1:500 at A4.

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2.0 POLICY CONTEXT

At an international level there are two principal agreements concerning the protection of the cultural heritage and archaeological resource – the UNESCO Convention Concerning the Protection of World Cultural and Natural Heritage and the European Convention on the Protection of the Archaeological Heritage, commonly known as the Valetta Convention. The latter was agreed by the Member States of the Council of Europe in 1992, and also became law in 1992. It has been ratified by the UK, and responsibility for its implementation rests with Department for Culture Media and Sport.

The management and protection of the historic environment in Wales is set out within the following legislation:

- The Planning (Listed Buildings and Conservation Areas) Act 1990 (As amended)
- The Historic Environment (Wales) Act 2016
- The Town and Country Planning Act 1990
- The Ancient Monuments and Archaeological Areas Act 1979
- The Town and Country Planning (General Permitted Development Order) 1995 (As amended)

The Historic Environment (Wales) Act is the most recent legislation for the management of the Historic Environment and amends two pieces of UK legislation — the Ancient Monuments and Archaeological Areas Act 1979 and the Planning (Listed Buildings and Conservation Areas) Act 1990. The new Act has three main aims:

- to give more effective protection to listed buildings and scheduled monuments;
- to improve the sustainable management of the historic environment; and
- to introduce greater transparency and accountability into decisions taken on the historic environment.

With respect to the cultural heritage of the built environment the Planning (Conservation Areas and Listed Buildings) Act 1990 applies. The Act sets out the legislative framework within which works and development affecting listed buildings and conservation areas must be considered. This states that:-

“In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses” (s66(1))

Other known sites of cultural heritage/archaeological significance can be entered onto county-based Historic Environment Records under the Town and Country Planning 1995.

Planning Policy Wales sets out the land use planning policies of the Welsh Government. Chapter 6 covers the historic environment and emphasises that the positive management of change in the historic environment is based on a full understanding of the nature and significance of historic assets and the recognition of the benefits that they can deliver in a vibrant culture and economy.

Various principles and policies related to cultural heritage and archaeology are set out in the Planning Policy Wales which guide local planning authorities with respect to the wider historic environment.

The following paragraphs from Planning Policy Wales are particularly relevant and are quoted in full:

Paragraph 6.1.5 concerns planning applications:

The planning system must take into account the Welsh Government's objectives to protect, conserve, promote and enhance the historic environment as a resource for the general well-being of present and future generations. The historic environment is a finite, non-renewable and shared resource and a vital and integral part of the historical and cultural identity of Wales. It contributes to economic vitality and culture, civic pride, local distinctiveness and the quality of Welsh life. The historic environment can only be maintained as a resource for future generations if the individual historic assets are protected and conserved. Cadw's published Conservation Principles highlights the need to base decisions on an understanding of the impact a proposal may have on the significance of an historic asset.

Planning Policy Wales is supplemented by a series of Technical Advice Notes (TAN). Technical Advice Note 24: The Historic Environment contains detailed guidance on how the planning system considers the historic environment during development plan, preparation and decision making on planning and listed building consent applications. TAN 24 replaces the following Welsh Office Circulars:

- 60/96 Planning and the Historic Environment: Archaeology
- 61/96 Planning and the Historic Environment: Historic Buildings and Conservation Areas
- 1/98 Planning and the Historic Environment: Directions by the Secretary of State for Wales

3.0 HISTORICAL BACKGROUND

The DMA at CPAT made the following consultee comments in their role as archaeological advisor to the Council:

Information held within the Regional Historic Environment Record indicates that the buildings to be converted are visible on the 1st edition Ordnance Survey Mapping of the area. The buildings all have attributes which are of a local historical, or vernacular interest. Therefore, we would recommend that an appropriate level of archaeological building recording is completed to chronicle the buildings in their current form. In this case we would advise that a Level 2 historic building survey is completed in accordance with the Planning Policy Wales (Feb 2021) and TAN 24 (May 2017) guidance.

4.0 REQUIREMENTS

4.1 Building Record

The requirements are for an archaeological building record of the former estate office and stables prior to alteration, however should observations or desk-based research suggest the potential for significant features to be encountered during the renovation works, the archaeological contractor should make arrangements to undertake any appropriate supplementary recording work during the development. The DMA at CPAT has requested that the building record be roughly commensurate with the Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2016) **Level 2**.

Both the exterior and the interior will be viewed, described and photographed. The record will present conclusions regarding the building's development and use, but will not discuss in detail the evidence on which these conclusions are based.

The detailed photographic record will consist of Historic England's '*Understanding Historic Buildings: a guide to good recording practice*' (2106) elements:

written account: 1-3, 6

drawings: sometimes 1, sometimes one or more of 2-7

photographs: 1,2,4

5.0 METHOD STATEMENT

5.1 Level 2 Record

5.1.1 Written Account

The written account will include:

A written account will be prepared to include the buildings' precise locations along with details of any statutory or non-statutory designations. The date of the record, the name(s) of the recorder(s) and the proposed location for the archive of the record will also be confirmed.

Information on the Buildings' types and purposes, historically and at present, materials, and possible date(s) and phasing, in so far as these are apparent from an appropriate inspection will also be presented as a summary statement. The written account will summarise the Building's form, function, date and sequence of development. The names of architects, builders, patrons and owners will be given if known.

The written record will be completed via Aeon Archaeology pro-formas.

5.1.2 Photographs

The photographic record will include:

- A general view or views of the building;
- The building's external appearance. Typically a series of oblique views will show all external elevations of the building and give an impression of its size and shape;
- The overall appearance of the principal rooms and circulation areas.

The photographic record will be maintained throughout using a digital SLR camera (Canon 600D) set to maximum resolution (72 dpi) with photographs taken in RAW format and later converted to TIFF format for long-term storage and JPEG format for presentation and inclusion in the archive. The standards for the digital archive will adhere to those set out in 'Digital Archiving: Appendix 6. Digital Archive Repository Requirements (Archaeological Data Service, 2015).

All photographs forming part of the record will be in focus, with an appropriate use of depth of field; they will be adequately exposed in good natural light, or where necessary well-lit by artificial means. In order to produce the best possible results in limited time site photography will be planned to coincide with variations in natural light.

A tripod will be utilised throughout thus ensuring that images are unaffected by camera shake. When using a DSLR with a choice of lenses the least distorted image can be obtained using standard or slightly telephoto lenses. Wideangle lenses will not be used. Care taken in levelling the camera will help to avoid introducing distortions.

When photographing details the camera will be located straight on to the subject, and will include a clearly marked and suitably sized scale parallel to one edge of the photograph.

The main source of artificial light for interior photography is electronic flash. This has the advantage of being similar in colour balance to daylight, making it the most practical choice for most colour image capture. An integral flash, as supplied on many DSLRs, is often not powerful enough to meet

the range of demands in architectural work. In such cases the use of natural light, in conjunction with a tripod, may produce a better image.

5.1.3 Drawings

The drawn record will include:

- A site plan showing the location and orientation of photographs. This will label all room spaces and indicate any architectural features of note.

Caution will be exercised in using drawings created for other purposes, particularly for estate agents particulars etc, as these often rationalise plans and remove irregularities which may be key to understanding a building. Detailed plans made by surveyors for purposes of design or alteration may form a satisfactory basis for drawings which aim to show the evolution of a building, but their accuracy will need to be confirmed and they will sometimes need to be adapted to show a greater range of historical evidence.

5.2 Processing data, illustration, report and archiving

Following completion of the record as outlined above, a report will be produced incorporating the following:

- A copy of the design brief and agreed specification
- A site location plan
- A plan illustrating the location and direction of photographs
- Basic background and relevant historical, descriptive or analytical detail
- A full bibliography of sources consulted
- Illustrations, including plans and photographs, will be incorporated within the report.

6.0 DISSEMINATION AND ARCHIVING

A full archive including plans, photographs, written material and any other material resulting from the project will be prepared. All plans, photographs and descriptions will be labelled, and cross-referenced, and lodged with the RCAHMW within six months of the completion of the project.

Upon completion of the project copies of the report will be sent to the Client, regional HER and DMA at CPAT.

The project report and archive will adhere to the Welsh Trusts' and Cadw's *Guidance for the Submission of Data to the Welsh Historic Environment Records (HERs)* (2022 v2) including the translation of a non-technical summary into the medium of Welsh.

7.0 DIGITAL DATA MANAGEMENT PLAN

7.1 Type of study

Level 2 historic building record of former Estate Offices and Stables, Trevor Row, Trevor Road, Chirk, Wrexham, LL14 5HE (SJ 29233 37576).

7.2 Types of Data

Photographs, digital text, annotated plans.

7.3 Format and scale of the data

Photographs taken in *RAW* format and later converted to *TIF* format for long term archiving and *JPEG* format for use in the digital report, converted using *Adobe Photoshop*. All photographs renamed using *AF5* freeware with the prefix (*project code_frame number*) and a photographic metadata created using Microsoft Excel (*.xlsx*) or Access (*.accdb*).

Written descriptions taken in digital *.txt* format and sent via email to ensure a digital backup copy at time of record.

Annotated plans scanned as *.PDF* files.

7.4 Methodologies for data collection / generation

Digital data will be collected / generated in line with recommendations made in the Chartered Institute for Archaeologists (CIfA) *Standard and Guidance for the Creation, Compilation, Transfer and Deposition of Archaeological Archives* (2014. Rev 2020). Sections 3.3.1 and 3.3.3 are relevant:

3.3.1 Project specifications, research designs or similar documents should include a project specific Selection Strategy and a Data Management Plan.

3.3.3 Project designs or schedules of works etc should outline the methodology used in recording all information, in order to demonstrate that all aspects of archive creation will ensure consistency; for instance in terminologies and the application of codes in digital data sets, highlighting relevant data standards where appropriate

7.5 Data quality and standards

Consistency and quality of data collection / generation shall be controlled and documented through the use of standardised procedure as outlined in the WSI. This will include the use of standardised data capture file formats, digital proformas, data entry validation, peer review, and use of controlled vocabularies.

7.6 Managing, storing and curating data.

All digital data will be organised into Aeon Archaeology proformae project file systems and backed up to the cloud using *Acronis Cyber Protect* with additional copies made to external physical hard drive.

7.7 Metadata standards and data documentation

Digital metadata created using Microsoft Excel (.*xlsx*) or Access (.*accdb*) of all photographic plates.

Paper metadata created from Aeon Archaeology proformas for contexts, artefacts, environmental samples, watching brief day sheets, trench sheets, and basic record sheets and then scanned to create digital .PDF copies.

7.8 Data preservation strategy and standards

Long term data storage will be through the submission of digital (.PDF) reports to the regional Historic Environment Record (HER); submission of the scanned (.PDF) archive, photographic plates (.TIF), and metadata (.*xlsx*) (.*accdb*) to the RCAHMW; and retention of copies of all digital files at Aeon Archaeology on physical external hard drive and uploaded to the cloud.

7.9 Suitability for sharing

All digital data will be placed within the public realm (through the channels in 6.8) except for where project confidentiality restricts the sharing of data. All data sets will be selected / discriminated by the Senior Archaeologist at Aeon Archaeology and written permission will be sought from all project specific Clients prior to the sharing of data.

7.10 Discovery by potential users of the research data

Potential users of the generated digital data (outside of the organisation) will be able to source the data and identify whether it could be suitable for their research purposes through access granted via the RCAHMW website. Requests can also be made for data through the regional HER's and directly to Aeon Archaeology (info@aeonarchaeology.co.uk).

7.11 Governance of access

The decision to supply research data to potential new users will be via the associated website request (HER, RCAHMW) or via the Senior Archaeologist when made directly to Aeon Archaeology.

7.12 The study team's exclusive use of the data

Aeon Archaeology's requirement is for timely data sharing, with the understanding that a limited, defined period of exclusive use of data for primary research is reasonable according to the nature and value of the data, and that this restriction on sharing should be based on simple, clear principles. This time period is expected to be six months from completion of the project however Aeon Archaeology reserves the right to extend this period without notice if primary data research dictates.

7.13 Restrictions or delays to sharing, with planned actions to limit such restrictions

Restriction to data sharing may be due to participant confidentiality or consent agreements. Strategies to limit restrictions will include data being anonymised or aggregated; gaining participant consent for data sharing; and gaining copyright permissions. For prospective studies, consent procedures will include provision for data sharing to maximise the value of the data for wider research use, while providing adequate safeguards for participants.

7.14 Regulation of responsibilities of users

External users of the data will be bound by data sharing agreements provided by the relevant organisation or directly through Aeon Archaeology.

7.15 Responsibilities

Responsibility for study-wide data management, metadata creation, data security and quality assurance of data will be through the Senior Archaeologist (Richard Cooke BA MA MCIfA) at Aeon Archaeology when concerning data generation and early/mid-term storage. Upon deposition with digital depositories the study-wide data management, metadata creation, data security and quality assurance of data will be the responsibility of the specific organisations' themselves.

7.16 Organisational policies on data sharing and data security

The following Aeon Archaeology policies are relevant:

- Aeon Archaeology Archive Deposition Policy 2022
- Aeon Archaeology Quality Assurance Policy 2022
- Aeon Archaeology Conflict of Interest Policy 2022
- Aeon Archaeology Outreach Policy 2022
- Aeon Archaeology Digital Management Plan 2022

8.0 PERSONNEL

The work will be managed and undertaken by Richard Cooke BA MA MCIfA, Archaeological Contractor and Consultant at Aeon Archaeology. Full details of personnel involved, with *curricula vitae*, can be supplied upon request.

9.0 MONITORING AND TIMING

Monitoring visits can be arranged during the course of the project with the Client and with the DMA at CPAT.

10.0 HEALTH AND SAFETY

Aeon Archaeology has a Health and Safety Policy Statement which can be supplied upon request. Furthermore, site-specific Risk Assessments and Method Statements are compiled and distributed to every member of staff involved with the project.

11.0 INSURANCE

Liability Insurance

- Employers' Liability: Limit of Indemnity £10m in any one occurrence
- Public Liability: Limit of Indemnity £2m in any one occurrence
- Legal Defence Costs (Health and Safety at Work Act): £100,000

The current period expires 07/09/24

Professional Indemnity Insurance

- Limit of Indemnity £500,000 any one claim

The current period expires 07/09/24

12.0 GENERAL

All project staff will adhere to the *Code of Conduct of the Chartered Institute for Archaeologists*.

The project will follow the requirements set down in the *Standards and Guidance for Archaeological Investigation and Recording of Standing Buildings or Structures (2020)* prepared by the Chartered Institute for Archaeologists.

A Method Statement and Risk Assessment will be prepared prior to the commencement of fieldwork and circulated to all staff concerned.

