

Archaeology Wales

Tudno Castle Hotel, Vaughan Street, Llandudno

Interim Statement: Garage Building



By Irene Garcia Rovira BA (Hons)

Report No. 1532

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Archaeology Wales

Tudno Castle Hotel, Vaughan Street, Llandudno

Interim Statement: Garage Building

Prepared For: Tudno Developments Ltd.
on behalf of Opus Land (North) Ltd.

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Date: 12/12/16

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By

Irene Garcia Rovira

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December 2016

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Summary

This interim statement has been prepared following the completion of the first element of a Photographic (Level 2) Building Survey by Archaeology Wales Ltd. at Tudno Castle Hotel, Vaughan Street, Llandudno, for Tudno Developments Ltd. on behalf of Opus Land (North) Ltd. The work was undertaken in advance of the proposed development and refurbishment (Conwy County Borough Council: 0/40758) of a 'Proposed 63 bedroom hotel, 3 n^o restaurant units, 2 n^o retail units and 1 n^o business unit incorporating listed façade retention'.

The development affects a hotel building and an associated garage that are of local and regional historical, archaeological and architectural significance.

This report presents the provisional results of the survey of the garage building, which was undertaken on 9th December 2016. The main element of the survey, a photographic record of the hotel building, will take place in January 2017.

1. Introduction

This interim statement has been prepared by Archaeology Wales Ltd (AW), in response to a request by Tudno Developments Ltd. on behalf of Opus Land (North) Ltd., to undertake a Level 2 survey (Historic England 2006, revised 2016) of Tudno Castle Hotel, Llandudno, Conwy, LL30 1YL, centred at NGR: 278600 382110 (henceforth, the 'site').

The work was carried out as the first element of a condition of planning approval (Conwy County Borough Council: 0/40758) prior to the planned development and refurbishment of a hotel building and associated garage that are of local and regional historical, archaeological and architectural significance.

This report presents the provisional results of the photographic survey of the garage building. The survey of the hotel building will take place in January 2017.

The survey was recommended by Gwynedd Archaeological Planning Service (henceforth GAPS) in its capacity as archaeological advisor to the local planning authority. Welsh planning legislation and policy guidance outlines that:

“The desirability of preserving an ancient monument and its setting is a material consideration in determining a planning application, whether that monument is scheduled or unscheduled. Where nationally important archaeological remains, whether scheduled or not, and their settings are likely to be affected by proposed development, there should be a presumption in favour of their physical preservation in situ. In cases involving lesser archaeological remains, local planning authorities will need to weight the relative importance of archaeology against other factors,

including the need for the proposed development.” (Planning Policy Wales, Chapter 6, Paragraph 6.5.1).

The adopted Planning (Listed Buildings and Conservation Areas) Act 1990 and the Planning (Listed Buildings and Conservation Areas - Wales) Regulations 2012, set out CCBC policies and proposals to guide development in the region. The work specifications that have been set in this Written Scheme of Investigation, respond to Condition 6 of Decision notice for Planning Application DC/0/40759, which states:

“The works (including demolition works) hereby permitted shall not commence until a photographic survey record of the interior of the building has been submitted to and approved in writing by the Local Planning Authority.

Reason: To record the character of the Listed Building and its features of special architectural or historic interest.”

A Written Scheme of Investigations was prepared by Aurea Izquierdo Zamora (AW) prior to the work taking place. This was subsequently approved by GAPS. The proposed building recording was to comprise a full photographic record, with the addition of plan drawings and a written description of the building, details of which are included in this report.

The AW Project Number is 2485 and the Site Code TCL/16/WB. The survey was carried out on 9th December 2016. The site archive will be deposited with the Royal Commission on the Ancient and Historic Monuments of Wales (RCAHMW) and a copy of the final report will be lodged with the local Historic Environment Record. The archival report will be accompanied by a CD containing the photographic and drawing records in the form of high resolution digital images.

All works were carried out in accordance with the Chartered Institute for Archaeologists Standards and Guidance for the archaeological investigation and recording of standing buildings or structures (Published 1996, revised 2008, updated 2013).

2. Site Description & Historical Background

The site comprises a trapezoid shaped parcel of land measuring approximately 2,700 sq. m (0.66 acres) in area. It is set in an urban landscape, bounded to the west by Vaughan Street, to the north by Mostyn Broadway, to the southwest by Conwy Road, and to the southeast by a tarmacked area that gives access to some commercial establishments and a linear arrangement of mature trees.

The parcel of the development site is located at the centre of Llandudno, just over 200m from Llandudno Bay. There are a number of local facilities located in the vicinity, within 750m radius from site. The site is 4.6km to the north of 13th century Conwy Castle.

Currently located within the development area are two buildings, Tudno Castle Hotel and an auxiliary garage. Tudno Castle Hotel is a complex 4 ½ storey structure of L-shaped configuration, measuring approximately 30m by 30m, with the frontal façade facing west. There are some landscaping works at the front of the hotel. This structure is a red brick building with white and cream rendering, with a cross-hip slate tiled roof. The garage building is located just over 8m to the southeast of the hotel, and it measures approximately 13.5m by 6m, on a northeast-southwest axis. This structure is a one storey, painted and rendered red brick building with a pitched slate tiled roof.

The building complex dates back to the 1870s and was formerly the place for two different hotels, the Tudno Castle and the Temperance Hotel. It was also known as The North-Western Hotel from 1900s till 1950s. After several repairs, modernisations and additions, it has lain empty since closing in 2008, and has become one of the seaside town's biggest eyesores due to its prominence. The western façade is Grade II listed, and as such needs to be retained, while the rest of the building will be demolished.

The underlying geology on site is the Moelfre tuff formation, formed approximately 451 to 461 million years ago (Ordovician Period), in a local environment previously dominated by explosive eruptions of silica-poor magma (British Geological Survey 2016).

The structure has been identified as one of archaeological, historical, architectural and artistic importance. The building dates from the 19th century, during which time it became a prominent landmark within the Llandudno townscape. Both the hotel and the auxiliary garage building are depicted at the 1st ed. Ordnance Survey map from 1880s. The outbuildings and the interiors retain a large number of original features, fixtures and fittings. Some elements could have been reused from earlier buildings also.

3. Building Recording Methodology

The definition and purposes of the proposed programme of Archaeological Building Investigation and Recording (henceforth ABIR) are set out in the Chartered Institute for Archaeologists' Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures (CIFA 2014). According to this, an ABIR is a programme of work intended to establish the character, history, dating, form and archaeological development of a specified building, structure or complex and its setting. The purpose of an ABIR is to examine the specified building in order to inform:

- the formulation of a strategy for the conservation, alteration, demolition, repair or management of a building, and
- to seek a better understanding, compile a lasting record, analyse the findings/record, and disseminate the results.

The site recording was undertaken by Irene Garcia Rovira, an experienced Building

Recording Archaeologist. Prior to undertaking the ABIR, the following sources were consulted:

- RCAHMW data relating to the listed structure
- Published sources
- Cartographic sources
- Local archive centres

The following were also considered:

- Site layout and organisation
- Function
- Materials, method of construction
- Fenestration
- Internal arrangements
- Original fixtures and fittings
- Subsequent fixtures and fittings
- Evidence of use and status
- Date/period of initial build and subsequent alterations

The photographic survey is to be undertaken in two phases: the auxiliary garage building was surveyed on 9th December 2016 and the hotel buildings will be surveyed in January 2017.

Appropriate lighting conditions were taken into account and a standard flash and tripod was used when required. High resolution photographs were taken, using a camera with a minimum of 10 megapixels. Image quality was set as high as possible. The cameras took files that were saved in tiff file format (uncompressed) for archival stability. The files were saved to a CD / DVD with accompanying plans and photograph/photographer information.

Three copies of the photographic survey have been produced. These will be sent to:

- the relevant planning office
- the NMRW Archivist, National Monuments Record of Wales, the Royal Commission on the Ancient and Historical Monuments, Plas Crug, Aberystwyth, SY23 1NJ (01970 621200)
- the Development Control Archaeologist, Gwynedd Archaeological Planning Service (GAPS), Craig Beuno, Ffordd y Garth, Bangor, Gwynedd LL57 2RT (01248 370926).

4 Results of the Building Recording

Figure 3 shows the existing ground floor plan of the hotel and garage, while figure 4 shows the location and direction from which the photographic plates were taken on the ground floor. All the useable photographs taken on site are presented in this report.

4.1 Garage Building: Exterior

The Tudno Castle Hotel Garage is located c. 7m SW from the Tudno Castle Hotel, on Mostyn Broadway Road, Llandudno.

The building is 14m in length and c. 6m in width and has two floors. While no major issues have been identified when examining the exterior of the structure, its interior is derelict. The most recent imprints of activity note the use of the first floor as a residential unit. It is also known that the ground floor was used as a working space for Floc, a North Wales multi-disciplinary art collective. Some of the most recent alterations observed within the ground floor interior might echo this period of activity.

NW Elevation

The single unit frontage of the Tudno Castle Hotel Garage is rendered with eight courses of mock moulding occupying the bottom half of the façade and a gabled slate roof.

The entrance is defined by an architrave and sealed by a panelled wooden door. The latter is known not to be original as the ground floor interior evidences the remains of the rails of an earlier door (see interior).

The frontage has an extension to the north-east. This extension appears represented in maps dating the last decades of the 1800s and therefore it may be defined as an original component of the structure. This extension would have been linked to the Tudno Castle Hotel through a gate. No remains of the original gate have been identified during the survey.

A single glazing square window is located above the entrance. This is framed by a semi-circular architrave. A wood moulding runs at either side of the window towards the extreme ends of the façade.

The frontage has a sign originally created with concrete and with the following label: 'Garage'. This sign was re-designed during the period of use of this structure by an art collective, using mussels to cover each letter.

SW Elevation

The SW elevation appears to be constructed of mortared limestone blocks later rendered by a crude pebble-dash render. Within it, three narrow windows/vents are located. In each case, the windows appear to be placed in an area where earlier openings existed. This is evidenced by stacks of bricks placed using stretcher techniques.

Furthermore, four iron girders extend out from the main wall. These are considered alterations to the original structure. While it is difficult to pinpoint with precision, these girders might be related to the construction of a detached structure observed in OS maps from the first decade of the 1900s to the 1950s.

SE Elevation

This wall face evidences multiple alterations to the main structure. Two windows (one of which is currently blocked) and two doors are currently present.

The wall is constructed of bricks later rendered by a crude pebble dash render.

The top window is square and confined within a toothed style brick pattern. It is thought that this window was built when the structure was remodelled to suit space for a first floor. Judging from historical OS maps, it is likely that the first floor was an addition pre-dating 1950.

Situated immediately below this window, there is the outline of a previous window currently concealed with concrete. A segmental arch is located on top of this opening. In observing this window from the inside, it was possible to note that this space has subsequently been re-used for shelving (see Interior).

Two doors are evidenced on this elevation. The first one has a metal door and, viewed from inside, it corresponds to one shown on the latest additions. The other door is currently blocked. While it was not possible to give an exact time for the construction of this opening, it was noted that it did not belong to the original structure.

The cast iron guttering found to the west of this wall is connected to an outlet pipe on the first floor.

NE Elevation

Four windows, a door and the footprint of a staircase are observed on this wall face. While none of these structural components are thought to date to the original construction of the structure, it is possible that at least two of the windows pre-date all the other alterations.

The northernmost window is currently sealed by a concrete layer. While this window is not truncated by the staircase, given its proximity to it, it is possible that this opening was concealed once the first floor and its staircase were built. A similar situation is evidenced with the window located directly below the first floor door. The southernmost window is rectangular and currently sealed by a wooden plank. A 1960s styled window hood is located on top of this opening.

Both the door and the small rectangular window located above it appear to date to the construction of the first floor.

Finally, the footprint of a staircase is present on this wall face, evidencing that, similarly to the SE elevation, the wall was made of brick and rendered with pebble dash.

First floor interior

This part of the building is currently occupied by pigeons. Due to health and safety, the survey was not completed here. However, a quick examination was made from the entrance. All structural components of the first floor appear to have post-dated the

1960s. It was clear that this floor had been designed for domestic use.

4.2 Garage Building: Interior

NE elevation

This wall evidenced multiple events of plastering. The northernmost window is currently sealed. This opening corresponds to that evidenced in the exterior of the building and defined as a window pre-dating the staircase. From the inside, it is possible to suggest that this window had been constructed over the gap where a door had once been. This appears to be the oldest window on this wall.

The middle window, as noted on the description of the exterior NE elevation, is blocked by a layer of concrete. From the inside, it was not possible to fully examine it, as it had been further obstructed by a number of wooden panels. Finally, the southernmost window, though currently sealed, appears to have been used until recently.

SE Elevation

This area contained a modern alteration, including a room made of plaster board. This room would have had access from the outside, as noted, with the door observed in the exterior.

In the centre of this wall shelves have been inserted. As previously noted, this area utilises the space created by a window that had been sealed. Finally, another door is located to the east of the wall. Compared to all the other openings, it was possible to note that this access was used until recent times.

NE Elevation

This wall contains three blocked vents. These may belong to the original structure and have been subsequently remodelled by the addition of an attached structure to the NE of the building. This hypothesis is reinforced by noting that the vents are not visible on the exterior wall.

Finally, it is worth noting that, from the interior, a railing was visible that probably relates to an entrance door that is no longer in use. These railings may be components of the original structure.

5. Discussion and interpretation

5.1 Reliability of field investigation

A proportion of the original structure was visible, although modern fixtures and partition walls are evident throughout. The building reveals enough information for its original structure to be fully understood.

The only access issue resulted from the large quantities of bird (particularly pigeon) droppings present in the upper floor of the garage building. Consultations between the site team and the AW project manager led to a decision not to enter this area because of the potential health risks associated with psittacosis and other related diseases. Nonetheless, it was possible to make a reasonably thorough record through the open doorway from the top of the ladder.

Some modern vandalism had taken place within the garage building, leaving it with broken windows / features, graffiti and rubbish.

5.2 Overall interpretation

This section will be written once the main survey has been completed.

6. Acknowledgements

Thanks go to Simon Pryce, Associate at Allison Pike Partnership Ltd, Rob Smillie, Opus Land (North) Ltd, Jenny Emmett of Gwynedd Archaeological Planning Service, and Will Rigby (AW) for assisting with the survey.

7. Bibliography and references

British Geological Viewer, 2016:

<http://mapapps.bgs.ac.uk/geologyofbritain/home.html>, retrieved 05.12.2016

Chartered Institute for Archaeologists, 2014: Standard and guidance for the archaeological investigation and recording of standing buildings or structures

Gwynedd Archaeological Planning Service, 2015: Guidance for applicants undertaking general photographic surveys for planning purposes.

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APPENDIX I: **Figures**



Figure 1: Location map of site, 1:30,000

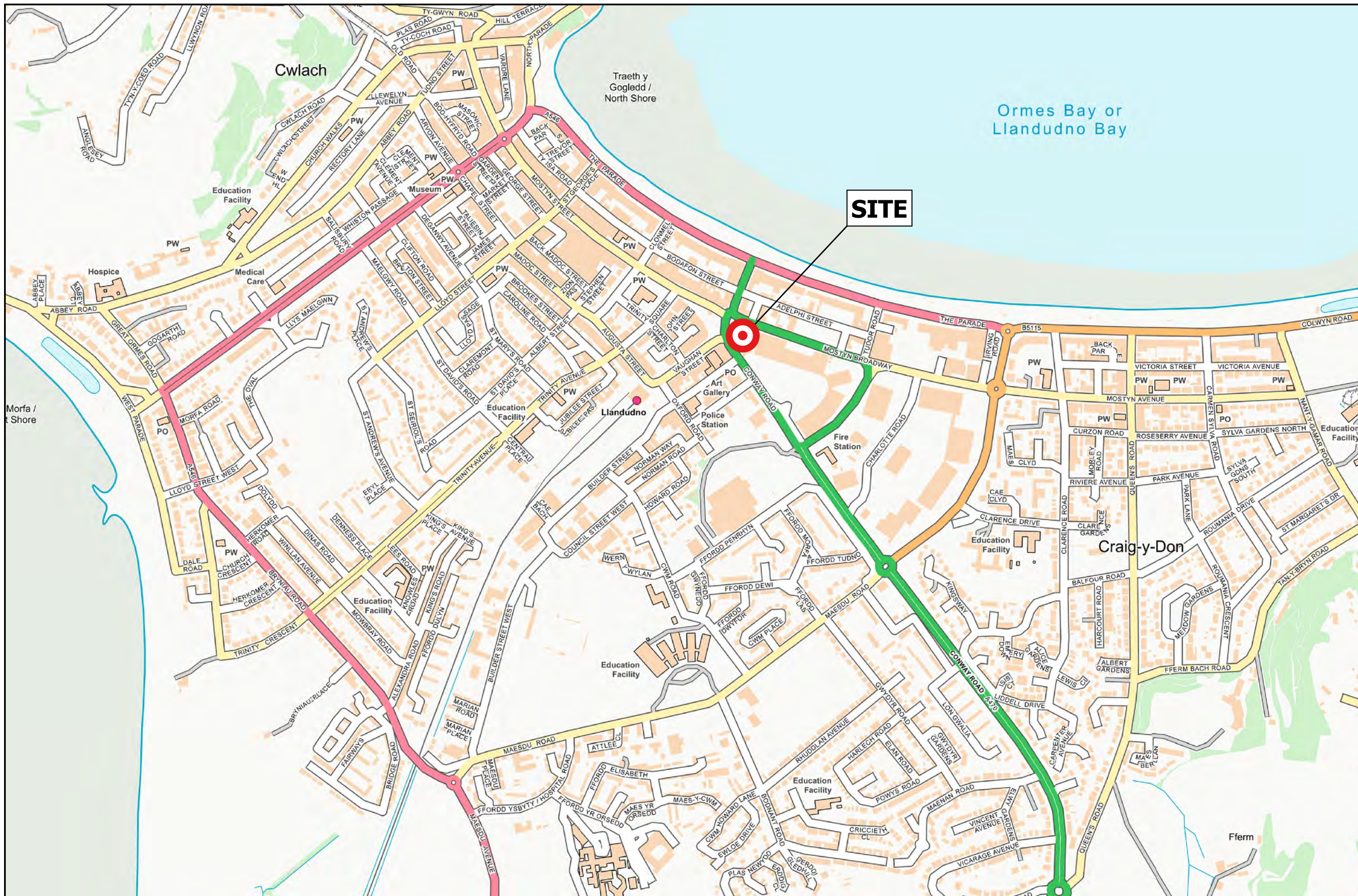
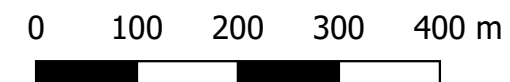


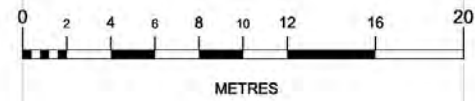
Figure 2: Location map of site, 1:7,500



Ground Probing Radar (GPR) identified a linear feature running across Hotel Footpath. On closer investigation a signal was induced using CAT & Genny. A Metallic Unidentified feature was located, requires further investigation??

NOTE: GPR detected features, may not be utilities. Features identified are shown within the scan area. Possible resonance with ground conditions only unless proved otherwise with garage base.

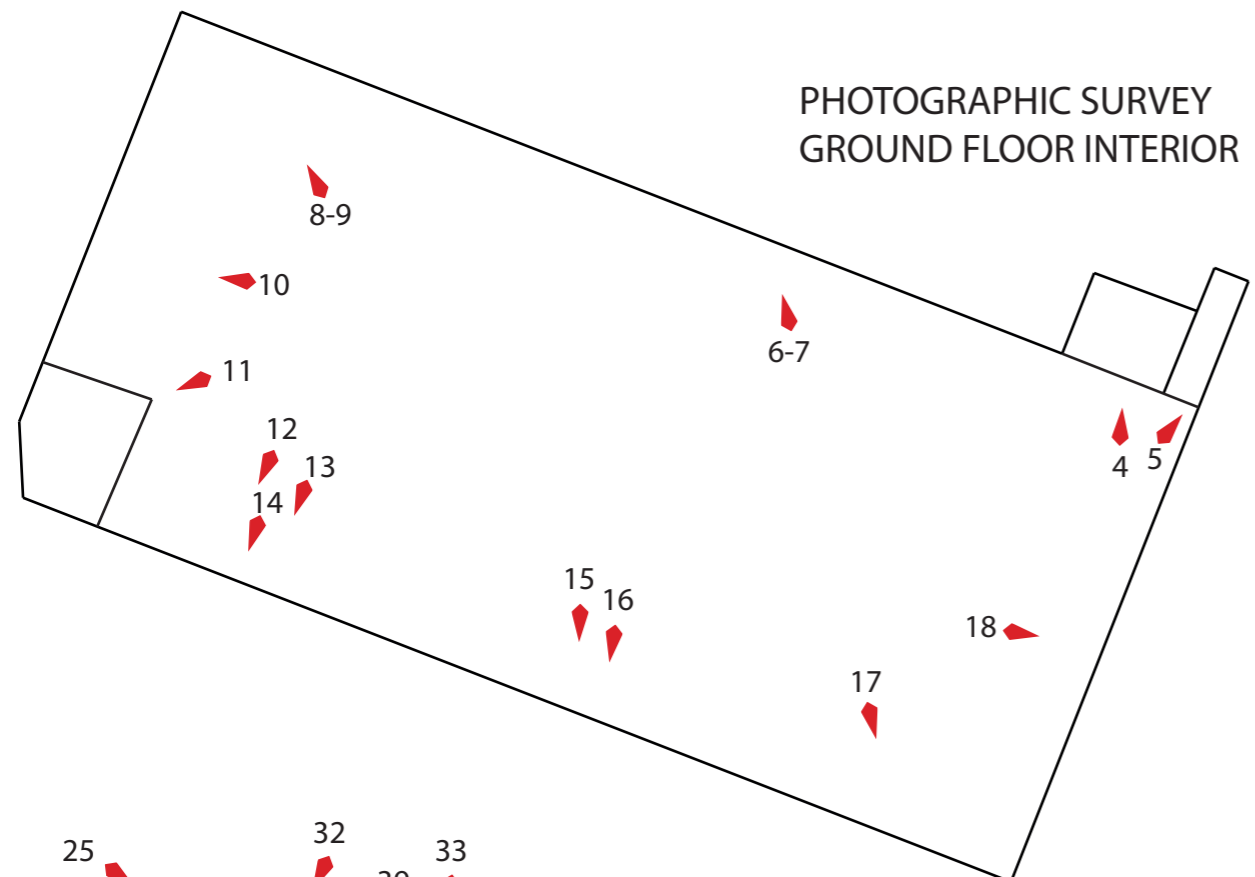
Ground Probing Radar (GPR) identified a linear feature running across the site. On closer investigation a signal was induced using CAT & Genny. A Metallic Unidentified feature was located, requires further investigation??



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No.	Description	Date	Signed
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Drawing Status			
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Scale	1:200		
Drawn	AF	Sheet	1 of 1
Approved	CS		
Client	Whitbread Group		
Title	Topographical & Utilities Survey		
Project	Tudno Castle Hotel Llandudno Clwyd, North Wales		
Drawing No.	3475/10/001	Rev.	-
Clugston Survey Services St Vincent House Normanby Road Southorpe North Lincolnshire DN15 8QT Tel: 01724 748170 Fax: 01724 748171 survey@clugston.co.uk www.clugstonsurvey.co.uk			
Regional Office in Leeds <small>Clugston Survey Services is a business name of Clugston Construction Limited Registered in England No. 6811577 Registered Office: St Vincent House, Normanby Road, Southorpe North Lincolnshire, DN15 8QT</small>			

Figure 3: Plan of existing buildings on site, from developers supplied information, 1:200

PHOTOGRAPHIC SURVEY
GROUND FLOOR INTERIOR



PHOTOGRAPHIC SURVEY
EXTERIOR AND FIRST FLOOR

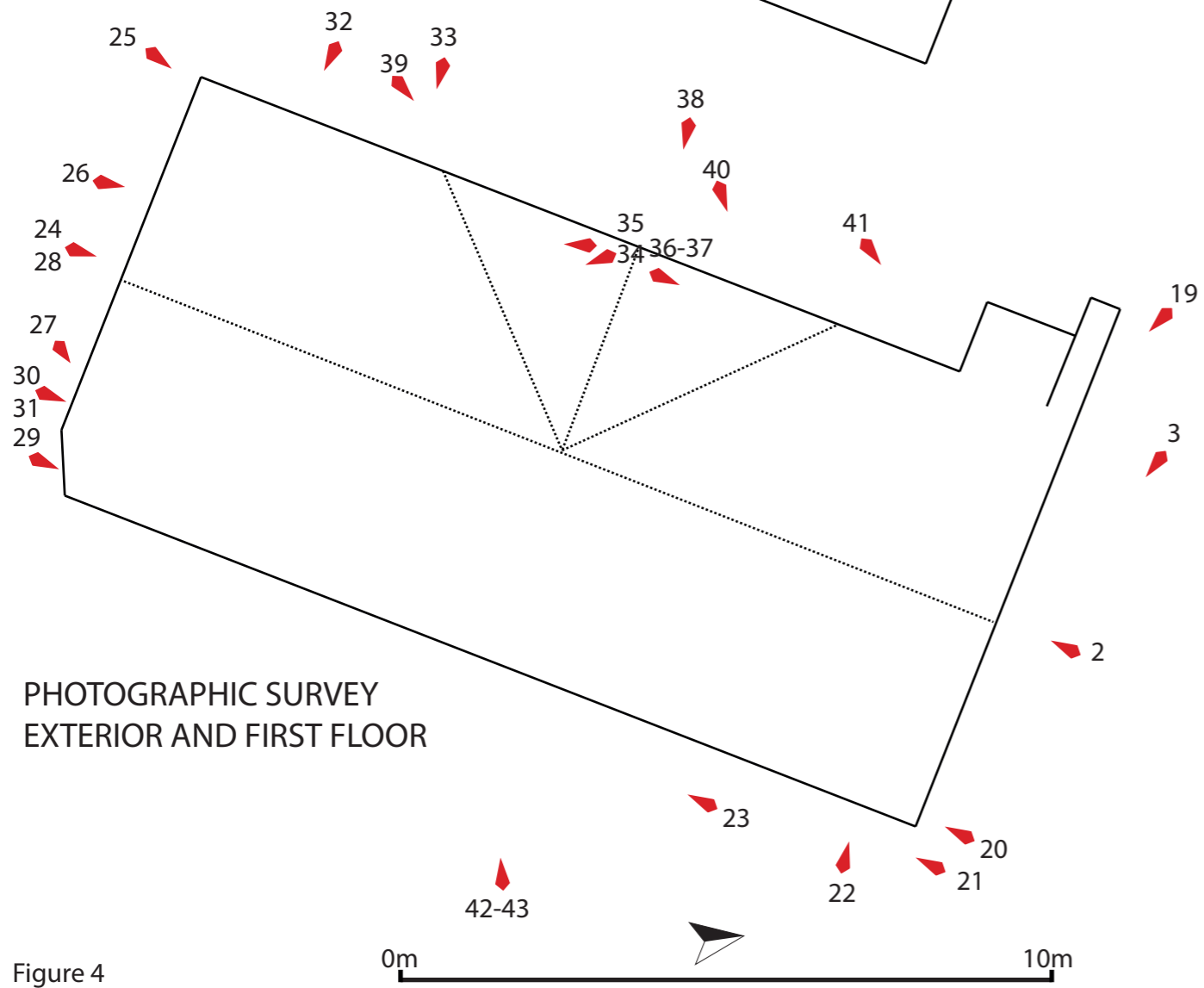
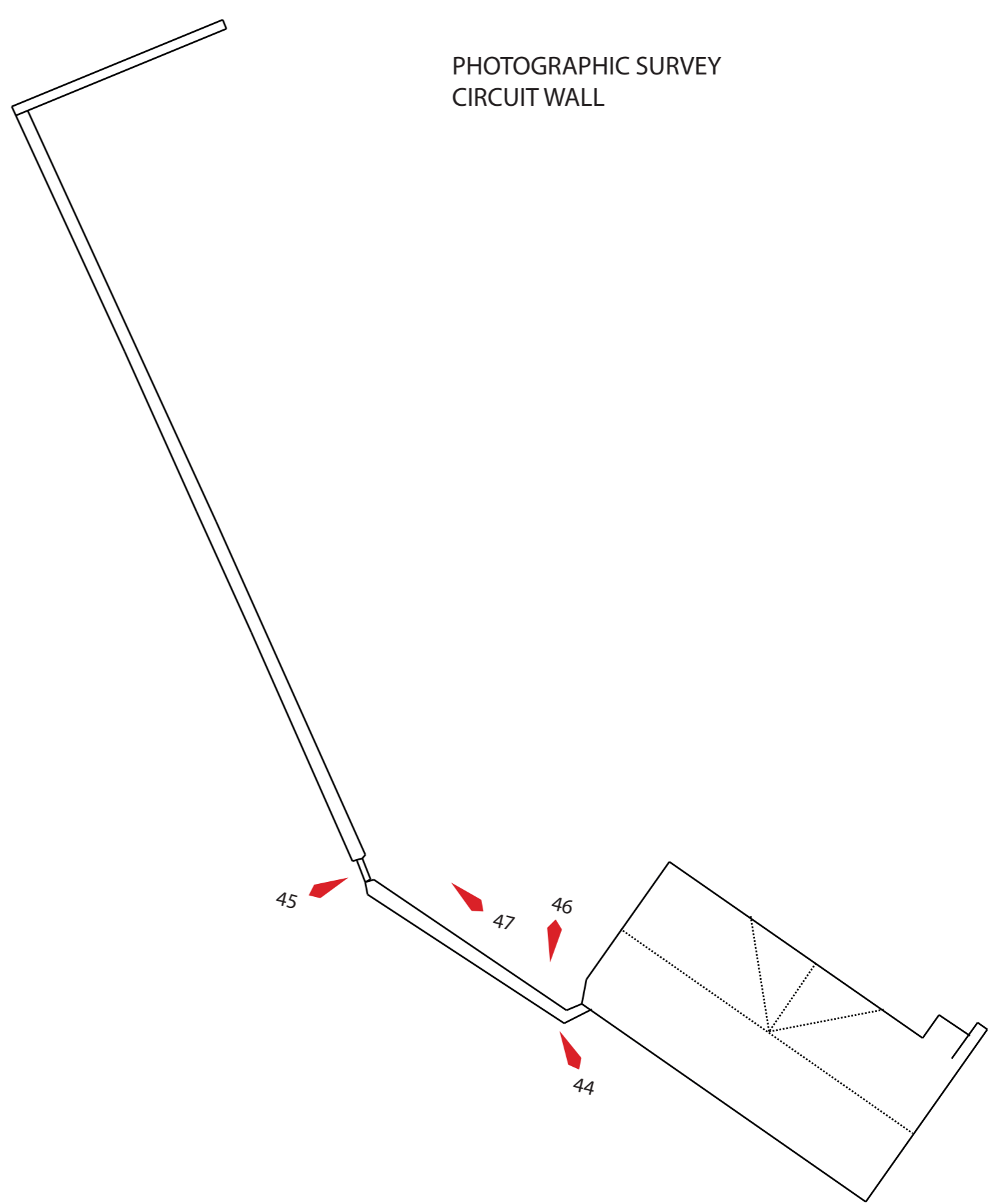


Figure 4
Direction of photographs

PHOTOGRAPHIC SURVEY
CIRCUIT WALL



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APPENDIX II:
Plates



Plate 1. View of western wall of facade. Looking south. Scales 2 x 2m



Plate 2. Main garage entrance. Looking south. Scales 2 x 2m



Plate 3. View of entrance. Looking southeast. Scales 2 x 2m



Plate 4. East facing wall of ground floor interior, with dado rail. Scale 2m



Plate 5. Detail of door track/slide - no longer in use



Plate 6. Remains of early door, subsequently transformed into a window which is currently blocked. Eastern facing interior wall. Scales 2 x 2m



Plate 7. Detail of sash window. Eastern facing interior wall.



Plate 8. East facing wall. 1960's Window subsequently repaired. North facing wall with back entrance. Not original. Scale 2m



Plate 9. East facing wall. 1960's Window subsequently repaired. North facing wall with back entrance. Not original. Scale 2m



Plate 10. North facing wall. Inset blocked window transformed into shelving.



Plate 11. Modern studded wall. Facing west. Scale 2m



Plate 12. West facing wall. Scale 2m



Plate 13. West facing wall with dado rail. Scale 2m



Plate 14. Possible vent, west facing wall.



Plate 15. West facing wall. Scale 2m



Plate 16. Blocked vent, west facing wall.



Plate 17. South and west facing wall. Scale 2m



Plate 18. View of entrance from inside. Scale 2m



Plate 19. View of garage facade.



Plate 20. Detail of corbel.



Plate 21. Oblique view of west facing exterior wall with corbels. Scale 2m



Plate 22. Detail of repair or alteration of possible window or vent. Scale 2m



Plate 23. View showing relationship between garage and circuit wall.
Scale 2m



Plate 24. View of back entrance. Windows and doors are not original and demonstrate a number of alterations over time. 1960's hoods. First floor window with reveal toothed brick effect. Scales 2 x 2m



Plate 25. Detail of back entrances



Plate 26. Detail of window hood.



Plate 27. Detail of door associated to internal studded wall room.



Plate 28. Detail of first floor window.



Plate 29. View of cast iron guttering.



Plate 30. Detail shot of switch.



Plate 31. Detail of wooden lintel.



Plate 32. 1960's Window with hood. Pebble dashed wall, east facing.
Scales 2 x 2m



Plate 33. View of east facing wall. Scales 2 x 2m



Plate 34. First floor, looking west



Plate 35. First floor, looking south.



Plate 36. First floor, looking north.



Plate 37. First floor sealing.

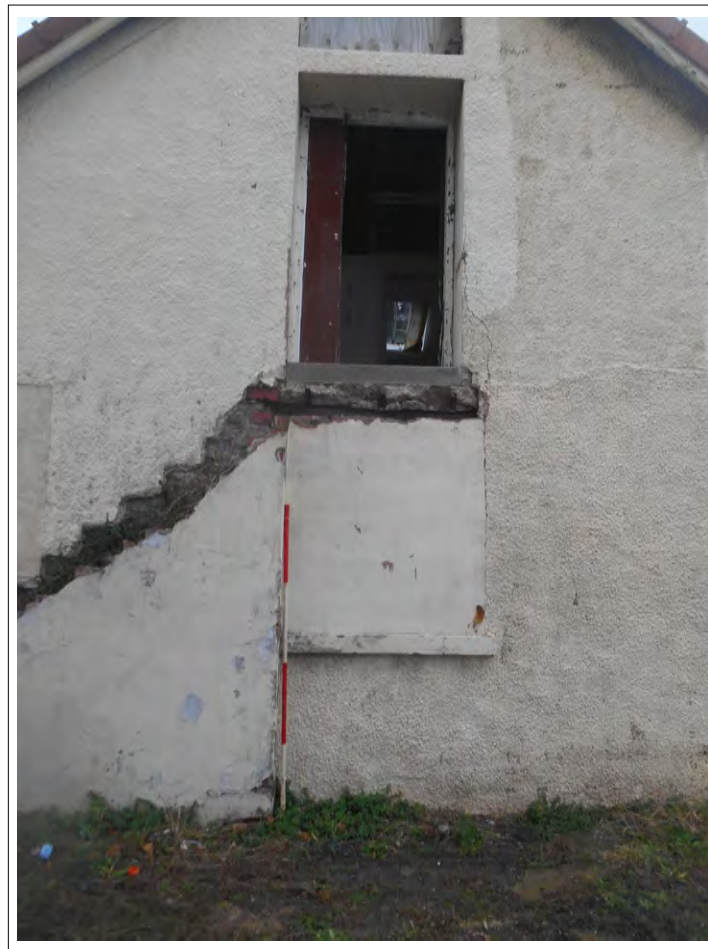


Plate 38. Detail of first floor door and exterior stair case, east facing wall. Scale 2m



Plate 39. Detail of first floor door and exterior stair case, east facing wall. Scale 2m



Plate 40. Detail of exterior stair case and doorway/window. Scale 2m



Plate 41. Outbuilding attached to garage behind facade wall.
West facing wall. Scale 2m



Plate 42. Detail of roof.



Plate 43. Detail of roof.



Plate 44. Detail of circuit wall.



Plate 45. Modern alteration of circuit wall. Scale 2m



Plate 46. Circuit wall viewed from back entrance.



Plate 47. Detail of circuit wall viewed from back entrance.

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APPENDIX III:
Photo Register

2993: View of western wall of façade. Looking S. Oblique (Plate 1)

2994: Main garage entrance. Looking S.

2995: Main garage entrance. Looking S. (Plate 2)

2996: View of entrance. Looking SE.

2997: View of entrance. Looking SE.

2998: View of entrance. Looking SE. (Plate 3)

3000: East facing wall. Ground floor interior, with dado rail. (Plate 4)

3001: blurred

3002: Light switch - detail

3003: Detail of door track/slide – no longer in use.

3004: Detail of door track/slide – no longer in use. (Plate 5)

3005: Remains of early door, subsequently transformed into a window. Window currently blocked. Eastern facing interior wall. (Plate 6)

3006: Remains of early door, subsequently transformed into a window. Window currently blocked. Eastern facing interior wall.

3007: detail of sash window. Eastern facing interior wall (Plate 7)

3008: detail of sash window. Eastern facing interior wall

3010: East facing wall. 1960's window subsequently repaired. North facing wall with back entrance. Not original. (Plate 8)

3011: East facing wall. 1960's window subsequently repaired. North facing wall with back entrance. Not original.

3012: Detail of modern window blocked by wood panels. East facing wall.

3014: East facing wall. 1960's window subsequently repaired. North facing wall with back entrance. Not original (Plate 9)

3015: North facing wall. Inset blocked window subsequently transformed into shelving. (Plate 10)

3017: Modern studded wall. Facing west

3018: Modern studded wall. Facing west (Plate 11)

3019: west facing wall. (Plate 12)

3020: west facing wall with dado rail. (Plate 13)

3021: possible vent, west facing wall. (Plate 14)

3022: west facing wall (Plate 15)

3023: blocked vent, west facing wall. (Plate 16)

3024: south and west facing wall. (Plate 17)

3025: same

3026: view of entrance from inside (Plate 18)

3027: girder

3028: same

3029: view of garage façade. Oblique (Plate 19)

3030: view of garage looking SE

3031: Detail of eaves gable ends and soffit.

3033: detail of corbel (Plate 20)

3034: oblique view of west facing exterior wall with corbels. Mostly original. (Plate 21)

3035: oblique view of west facing exterior wall with corbels. Mostly original.

3037: detail of repair or alteration of possible window/vent? (Plate 22)

3038: detail of repair or alteration of possible window/vent?

3039: detail of repair or alteration of possible window/vent?

3040: detail of repair or alteration of possible window/vent?

3041: relationship between garage and circuit wall (Plate 23)

3042: detail of circuit wall (Plate 44)

3043: modern alteration of circuit wall (Plate 45)

3044: view of back entrance. Windows and doors are not original and demonstrate a number of alterations over time. 1960s hoods. First floor window with reveal toothed brick effect (Plate 24)

3045: detail of back entrances (Plate 25)

3046: detail of window hood (Plate 26)

3047: detail of door associated to internal studded wall room (Plate 27)

3048: detail of first floor window (Plate 28)

3049: cast iron guttering (Plate 29)

3050: switch (Plate 30)

3051: detail of wooden lintel (Plate 31)

3052: circuit wall viewed from back entrance (Plate 46)

3053: detail of circuit wall viewed from back entrance (Plate 47)

3054: detail of circuit wall viewed from back entrance

3055: view of tudno castle hotel from back entrance

3056: 1960s window with hood. Pebble dashed wall, east facing wall (Plate 32)

3057: view of east facing wall (Plate 33)

3058: same as 3056

3059: first floor, looking west (Plate 34)

3060: first floor looking south (Plate 35)

3061: first floor looking north (Plate 36)

3062: first floor sealing (Plate 37)

3063: detail of first floor door and exterior stair case, east facing wall

3064: detail of first floor door and exterior stair case, east facing wall (Plate 38)

3065: detail of first floor door and exterior stair case, east facing wall (Plate 39)

3066: detail of exterior staircase and doorway/window (Plate 40)

3067: outbuilding attached to garage behind façade wall, west facing wall (Plate 41)

3068: same as 3066

3069: set stone floor located near staircase

3070: detail of roof (Plate 42)

3071: detail of roof (Plate 43)

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APPENDIX IV:
Copy of approved WSI

ARCHAEOLOGY WALES LIMITED:

**Written Scheme of Investigation
For Archaeological Photographic Survey**

**Tudno Castle Hotel, Llandudno,
Conwy**

**Prepared for:
Allison Pike Partnership Ltd.**

Project No: 2485

06 December 2016

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NON TECHNICAL SUMMARY

This Written Scheme of Investigations details a proposal for Archaeological Building Investigation and Recording, with Level 2 survey, in advance of the proposed development 'Proposed 63 bedroom hotel, 3 n° restaurant units, 2 n° retail units and 1 n° business unit incorporating listed façade retention', at Tudno Castle Hotel, Llandudno, Conwy, LL30 1YL. It has been prepared by Archaeology Wales Ltd for Allison Pike Partnership Ltd.

The development, with Planning Application Number DC/0/40758, affects a building that is of local and regional historical, archaeological and/or architectural significance. The Conwy County Borough Council grants permission for the development and Listed Building Consent (DC/0/40759), under condition of the completion of a complete programme of Archaeological Building Investigation and Recording: Photographic Survey Level 2. This document will serve also as a Written Scheme of Investigations to be approved by the Local Planning Authority prior commencement of the works.

1. Introduction (see Figures 1 & 2)

The planned development encompasses the site of Tudno Castle Hotel at Llandudno, Conwy, LL30 1YL, centred at NGR: 278600 382110 (henceforth, the 'site').

The development proposal has been prepared by Allison Pike Partnership Ltd. at 7 Buxton Road West, Disley, Stockport, Cheshire, SK12 2AE. The local planning authority is Conwy County Borough Council (henceforth CCBC), and the planning application number is DC/0/40759.

This Written Scheme of Investigation has been prepared Archaeology Wales (henceforth, AW) at the request of Allison Pike Partnership Ltd. (henceforth, the 'client'). It provides information on the methodology that will be employed by AW during an Archaeological Building Investigation and Recording at the 'site', consisting on a photographic survey. The project will be managed by Mark Houlston, Managing Director, Archaeology Wales Ltd.

Gwynedd Archaeological Planning Service (henceforth GAPS) in its capacity as archaeological advisor to the local planning authority, have recommended that a photographic survey must be undertaken prior to any development work on site.

Welsh planning legislation and policy guidance outlines that:

"The desirability of preserving an ancient monument and its setting is a material consideration in determining a planning application, whether that monument is scheduled or unscheduled. Where nationally important archaeological remains, whether scheduled or not, and their settings are likely to be affected by proposed development, there should be a presumption in favour of their physical preservation in

situ. In cases involving lesser archaeological remains, local planning authorities will need to weight the relative importance of archaeology against other factors, including the need for the proposed development.” (Planning Policy Wales, Chapter 6, Paragraph 6.5.1).

The adopted Planning (Listed Buildings and Conservation Areas) Act 1990 and the Planning (Listed Buildings and Conservation Areas - Wales) Regulations 2012, set out CCBC policies and proposals to guide development in the region. The work specifications that have been set in this Written Scheme of Investigation, respond to Condition 6 of Decision notice for Planning Application DC/0/40759, which states:

“The works (including demolition works) hereby permitted shall not commence until a photographic survey record of the interior of the building has been submitted to and approved in writing by the Local Planning Authority.

Reason: To record the character of the Listed Building and its features of special architectural or historic interest.”

The details set out in this document outline procedures to be undertaken during the photographic survey work at Tudno Castle Hotel, Llandudno, which will result in an archive standard photographic record and an illustrated report.

All work will be undertaken by suitably qualified staff and in accordance with the standards and guidelines of the CIfA.

2. Site description

The site comprises a trapezoid shaped parcel of land measuring approximately 2,700 sq. m (0.66 acres) in area. It is set in an urban landscape, bounded to the west by Vaughan Street, to the north by Mostyn Broadway, to the southwest by Conwy Road, and to the southeast by a tarmac layout that gives access to some commercial establishments and a linear arrangement of mature trees.

The parcel of the development site is located at the centre of Llandudno, just over 200m from Llandudno Bay. There are a number of local facilities located in the vicinities, within 750m radius from site. Site is 4.6km to the north of 13th century Conwy Castle.

Currently located within the development area are two buildings, Tudno Castle Hotel and an auxiliary garage. Tudno Castle Hotel is a complex 4 ½ storey building in L-shape with approximately 30m by 30m, with the frontal façade facing west. There are some landscaping works at the front of the hotel. This is a red brick building with white and cream rendering, with cross-hip slate tiled roof. The garage building is located just over 8m to the southeast from the hotel, and it measures approximately 13.5m by 6m, on a northeast-southwest axis. This is a 1 storey, red brick building with pitched slate tiled roof.

The building complex dates back to the 1870s and was formerly the place for two different hotels, the Tudno Castle and the Temperance Hotel. It was also known as The North-Western Hotel from 1900s till 1950s. After several repairs, modernizes and additions, it has lain empty since closing in 2008, and has become one of the seaside town's biggest eyesores due to its prominence. The western façade is Grade II listed, and as such needs to be retained while the rest of the building will be demolished.

The underlying geology on site is Moelfre tuff formation, formed approximately 451 to 461 million years ago (Ordovician Period), in a local environment previously dominated by explosive eruptions of silica-poor magma (British Geological Survey 2016).

The 'site' has been identified as area of archaeological, historical, architectural and artistic sensitivity, with the buildings dating from 19th century and becoming a landmark for Llandudno townscape. Both the hotel and the auxiliary garage building are depicted at the 1st ed. Ordnance Survey map from 1880s. The outbuildings and the interiors retain a remarkable number of original features, fixtures and fittings. Some elements could have been reused from earlier buildings also.

3. Archaeological Building Investigation and Recording

The definition and purposes of a programme of Archaeological Building Investigation and Recording (henceforth ABIR) are set on the Chartered Institute for Archaeologists' *Standard and Guidance for the Archaeological Investigation and Recording of Standing Buildings or Structures* (Cifa 2014). According to this, an ABIR is a programme of work intended to establish the character, history, dating, form and archaeological development of a specified building, structure or complex and its setting. The purpose of an ABIR is to examine the specified building in order to inform:

- a) the formulation of a strategy for the conservation, alteration, demolition, repair or management of a building

and

- b) to seek a better understanding, compile a lasting record, analyse the findings/record, and disseminate the results.

The work will result in a report, which will provide a comprehensive record of all the work undertaken. It will include interpretive statements and provide an assessment of the regional context within which the site is located.

4. Site Specific Photographic Survey

Gwynedd Archaeological Planning Service has established the principle of requesting photographic surveys, or photographic records, from applicants as part of the planning process in order to preserve by record the original form or specific character of Wales historic buildings. These photographic survey records will serve as the only surviving documentation of buildings prior to alteration, restoration, conversion or demolition. As such it is important that the specifications set in this Written Scheme of Investigations are followed in order to allow the Regional Historic Environment Record (HER) held by Gwynedd Archaeological Trust, and the National Monuments Record archive held by the RCAHMW, to curate a unique record that will be publicly-available for future study and reference.

Recording of site

The recording will be undertaken by a suitably experienced Building Recording Archaeologist who will be able to ‘read’ the structure and record the features relevant to achieve a satisfactory photographic building. Prior to undertaking a field assessment and analyse of the building, the following sources will be consulted for establishing and compilation of possible relevant information about the building:

- RCAHMW data relating to the listed structure
- Published sources
- Cartographic sources
- Local archive centres

The following will also be considered:

- Site layout and organisation
- Function
- Materials, method of construction
- Fenestration
- Internal arrangements
- Original fixtures and fittings
- Subsequent fixtures and fittings
- Evidence of use and status
- Date/period of initial build and subsequent alterations

Photographic Survey methodology

The majority of the buildings and other structures located within the site have been in use until recently and it is not anticipated that there will be a problem with access.

Should this prove to be the case, however, further consultation with GAPS will be undertaken on the appropriate level of internal recording required.

Appropriate lighting conditions must be taken into account in order to produce a clear photographic record. The use of a standard flash is recommended indoors to light the interior views, however off-camera flashes are considered to produce the best images, where available. Use of a tripod is recommended, especially in poor light conditions.

High resolution photographs should be taken, using a camera with a minimum of 10 megapixels. Image quality should be set as high as possible. Ideally cameras will take images as TIFF or RAW and the resulting files will be saved in tiff file format (uncompressed) for archival stability. If this is not possible then a high quality jpeg image will be acceptable. RAW files must not be supplied. The files must be saved to a CD / DVD with accompanying plans and photograph/photographer information. The record will present conclusions regarding the building's origins, development/s and use/s.

A plan, and if needed other drawings, will be made to illustrate the structure's appearance and to support an historical analysis but a comprehensive drawing record will not be required. The drawn records will use existing surveyor's drawings of the site where appropriate.

Photographs should be taken of all exterior and interior wall elevations, interior spaces, and detail photographs of the roof interior.

The record should include general photographs to locate the building(s) within the site and relate the building or group of buildings to its grounds and associated buildings, where appropriate. Features of particular interest (e.g. staircases, date stones, obvious differences in wall fabric, windows and doors whether blocked up or not, fireplaces, machinery and other fittings, timber framing, decorative details) should be fully photographed.

If available, a scale of noted measurement should be placed within any detailed shots but this is not essential.

The photographs should be accompanied by at least one annotated plan – if available, an architect's floor plan of the building as existing. Where many photographs are taken, or where extensive or multiple buildings are being recorded, it may be advisable to use more than one plan for clarity.

The plan(s) should be labelled with the name and address or grid reference of the site, the date that the photographs were taken and the planning application number. If more than one plan is produced, this should also be indicated (e.g. plan 1 of 3). Ideally the plan(s) will also be supplied as a digital file.

Results of photographic survey

Photographs should be numbered for ease of reference. These numbers should be used to locate the photographs on the plan(s). The plan(s) should indicate the points from which photographs are taken and the direction photographs are taken in. Photograph reference

numbers should be copied onto the backs of prints together with brief descriptive details of the location; or for digital images, reference numbers should form part of the file name with any additional descriptive information provided in a cross-referenced document. Poor quality or blurred images should not be supplied. Replacement images should be taken for inclusion in the completed record.

Monitoring

GAPS will be contacted at least one week prior to the commencement of site works, and subsequently once the work is underway.

The photographic survey will be undertaken in two phases, encompassing the auxiliary garage building during December 2016, and the hotel buildings during January 2017. In order to secure a most efficient work, scaffolding and any other elements obstructing the visibility of outbuildings and interior settings will ideally be removed prior to undertaking the photographic survey.

Any changes to this Written Scheme of Information that AW may wish to make after approval will be communicated to GAPS for approval on behalf of the Planning Authority.

Representatives of GAPS will be given access to the site so that they may monitor the progress of the building recording. GAPS will be kept regularly informed about developments, both during the site works and subsequently during the post-fieldwork programme.

5. Post Field-work programme

Submitting photographs

Three copies of the photographic survey should be produced. These should be sent to:

- the relevant planning office
- the NMRW Archivist, National Monuments Record of Wales, the Royal Commission on the Ancient and Historical Monuments, Plas Crug, Aberystwyth, SY23 1NJ (01970 621200)
- the Development Control Archaeologist, Gwynedd Archaeological Planning Service (GAPS), Craig Beuno, Ffordd y Garth, Bangor, Gwynedd LL57 2RT (01248 370926).

Approved photographic records

Receipt of the photographs and annotated plans by GAPS will be confirmed and the planning authority will be informed that the condition has been satisfied.

Deposition of records

Records received by GAPS will be deposited with the Regional Historic Environment Record (HER). The HER requests that a Depositor Licence is completed to allow future use and dissemination of the images and will supply one in response to any photographic record received. Alternatively a covering letter containing appropriate conditions can be used. Where an appropriate covering letter has been supplied there will be no need to supply a depositor licence.

The record will include an account of the evidence on which the analysis has been based, allowing the validity of the record to be re-examined in detail.

Final reporting

A draft report will be submitted to the client for comments within 4 weeks of the survey being complete.

A full client report of the results of the archaeological work will be prepared within 6 months of the end of the survey. Copies of the report will be sent to the client and for inclusion in the regional Historical Environment Record (held and maintained by GAT).

The client report will contain, as a minimum, the following elements:

- A concise non-technical summary of the results
- An introductory statement
- The aim/s, objective/s, and methodology adopted in the course of the investigation with details of how all the buildings and structures were surveyed and recorded
- A brief account of the archaeological and historic background of the site
- An account of all the consulted and compiled documentary sources
- A written record of the building/s including the level-required analysis
- Conclusions and discussion of the ABIR results as appropriate
- A statement of the local and regional context of the remains
- Bibliography and cross-reference with in-text mentioned sources
- Location plans tied into the national grid, plan/s of site showing the positions all drawn and photographic records relating to the survey.
- A composition of plates from the photographic record taken on site, indicating as a minimum plate number, subject identification and direction of shot.
- A copy of the AW Written Scheme of Investigations
- A copy of the archiving specifications (Archive Cover Sheet).

6. Resources and timetable

Standards

The field work will be undertaken by AW staff using current best practice.

Staff

The project will be undertaken by suitably qualified AW staff. Overall management of the project will be undertaken by Mark Houliston.

Equipment

The project will use existing AW equipment.

Timetable of archaeological works

The work will be undertaken at the convenience of the client. No start date has yet been agreed.

Insurance

AW holds Public Liability Insurance through Aviva Insurance Ltd, with a £5,000,000 Limit of Indemnity (expires 05/12/16), Employers Liability Insurance through Aviva Insurance Ltd, with a £10,000,000 Limit of Indemnity (expires 05/12/16) and Professional Indemnity Insurance through Hiscox Insurance Company Ltd, with a £1,000,000 Limit of Indemnity (expires 05/12/16).

Arbitration

In the event of any dispute arising out of this Agreement (including those considered as such by only one of the parties) either party may forthwith give to the other notice in writing of such a dispute or difference and the same shall be and is hereby referred for decision in accordance with the Rules of the Chartered Institute of Arbitrators' Arbitration scheme for the Chartered Institute for Archaeologists applying at the date of this Agreement.

Health and safety

All members of staff will adhere to the requirements of the *Health & Safety at Work Act, 1974*, and the AW Health and Safety Policy.

Any persons undertaking the survey will have undertaken Asbestos awareness training within the last 12 months. Lone working at the building will not be permitted.

Before entering the building a detail plan and risk assessment will be produced.

If AW has sole possession of the site, then AW will produce a detailed Risk Assessment for approval by the client before any work is undertaken. If another organisation has responsibility for site safety, then AW employees will be briefed on the contents of all existing Risk Assessments, and all other health and safety requirements that may be in place.

7. Bibliography

British Geological Viewer, 2016:

<http://mapapps.bgs.ac.uk/geologyofbritain/home.html>, retrieved 05.12.2016

Chartered Institute for Archaeologists, 2014: *Standard and guidance for the archaeological investigation and recording of standing buildings or structures.*

Gwynedd Archaeological Planning Service, 2015: *Guidance for applicants undertaking general photographic surveys for planning purposes.*

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